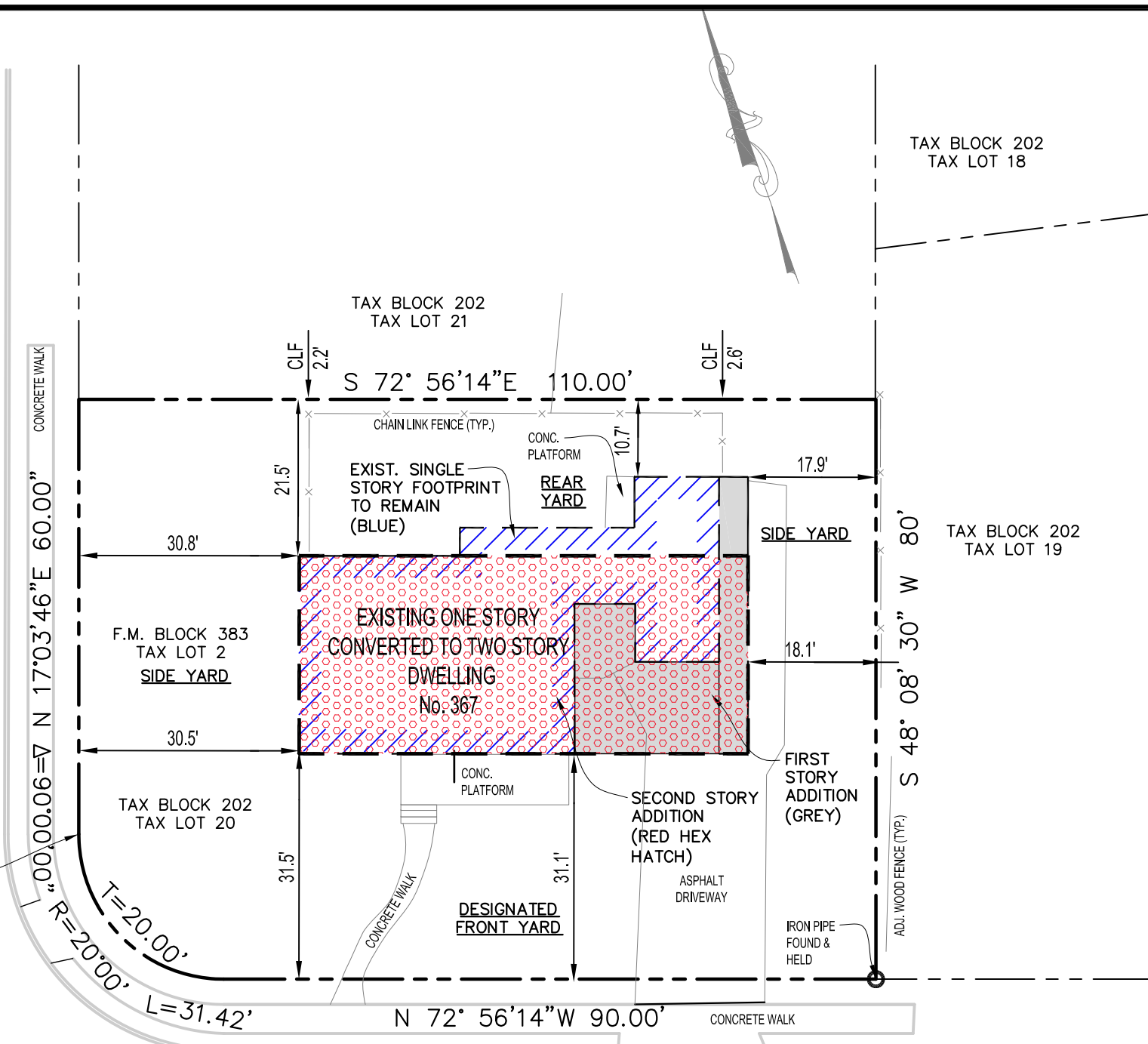


SHERIDAN STREET  
(30' R.O.W)

P.O.B.



VOMEL DRIVE  
(30' R.O.W)

ZONING INFORMATION: 367 VOMEL DRIVE, NEW MILFORD, NJ, LOT # 20, BLOCK # 202  
ZONE: RESIDENTIAL "A"

CRITERIA	REQUIRED	PROVIDED	REMARKS
MINIMUM LOT AREA (SQ. FT.)	7,500 S.F. (MIN.)	8,714 S.F. (EXISTING CONDITION)	EXISTING CONFORMING
AVERAGE LOT WIDTH (LIN. FT.)	75.0 LIN. FT. (MIN.)	100 LIN. FT. (EXISTING CONDITION)	EXISTING CONFORMING
FRONT YARD SETBACK	55 LIN. FT. ( SHALL NOT PROJECT BEYOND AVG. SETBACK LINE OF BLDGS. SITUATED WITHIN THE SAME BLOCK& W/ 200 FT. EITHER SIDE OF LOT LINE.)	26.1 AT FACE OF PROPOSED PORCH (31.1 FT. IS EXISTING CONDITION)	4' PORCH PROJECTION ALLOWED, CONFORMING
REAR YARD SETBACK	25% OF LOT DEPTH (20 FT.), 20.0 LIN. FT. (MIN.)	10.7 FT. (EXISTING CONDITION)	EXISTING NON-CONFORMING TO REMAIN
SIDE YARD (EXTERIOR LEFT SIDE) SETBACK	FOR CORNER LOT PROPERTIES, NO LESS THAN 30.0 LIN. FT. AT THE EXTERIOR SIDE YARD.	30.5 FT. (EXISTING CONDITION CONFORMING)	EXISTING CONFORMING
SIDE YARD (INTERIOR RIGHT SIDE) SETBACK	10 FT.	17.9 FT. (21.9 EXIST. MINUS 4 FT. RIGHT SIDE EXTENSION)	NON-CONFORMING (20 FT. MIN.) <b>VARIANCE REQUESTING ADDITIONAL 2.1 FT.</b>
HEIGHT RESTRICTIONS	2 1/2 STORY, 30 FT. (MAX.)	29.75 FT.	NEW CONDITION, CONFORMING
MAXIMUM BUILDING COVERAGE (%)	20% OF TOTAL LOT SIZE FOR LOTS LESS THAN 10,000 S.F. (EXIST. IS 17.0% - 1,483 S.F. ON A LOT OF 8,714 S.F.)	21.3% ( 1,860 S.F. ON A LOT OF 8,714 S.F.)	<b>VARIANCE REQUESTING, 1.3% OVER ALLOWABLE</b>
MAXIMUM TOTAL IMPERVIOUS COVERAGE (%)	60% OF TOTAL LOT SIZE FOR LOTS LESS THAN 10,000 S.F. (EXIST. IS 32.9% - 2,870.8 S.F. ON A LOT OF 8,714 S.F.)	34.1% ( 2,971.1 S.F. ON A LOT OF 8,714 S.F.)	NEW CONDITION CONFORMING

**PLOT PLAN**  
SCALE: 1" = 20'

INFORMATION FOR THIS PLOT PLAN WAS OBTAINED FROM A SURVEY CREATED BY JOHN A. LOCH P.L.S. NJ LIC. No. 35853 OF AZZOLINA & FEURY ENGINEERING INC. PROFESSIONAL ENGINEERS AND LAND SURVEYORS 30 MADISON AVE. PARAMUS NJ 07652 PHONE (201) 845-8500, NJ CERT. OF AUTH 24GA28003600

# ALTERATION / ADDITION FOR: INTEGRITY BERGEN L.L.C. 367 VOMEL DRIVE NEW MILFORD, NEW JERSEY

### ABBREVIATIONS

A.C.T.	ACOUSTIC CEILING TILE	CAB.	CABINET	DET.	DETAIL	F.D.	FLOOR DRAIN	HDR.	HEADER	MAS.	MASONRY	PLAST.	PLASTIC	SCHED.	SCHEDULE	U.O.N.	UNLESS OTHERWISE NOTED
ADJUST.	ADJUSTABLE	CEM.	CEMENT	D.F.	DRINKING FOUNTAIN	F.F.	FINISHED FLOOR	HTR.	HEATER	MAT.	MATERIAL	PCS.	PIECES	SECT.	SECTION		
A.F.F.	ABOVE FINISH FLOOR AT	CL.	CENTER LINE	D.H.	DOUBLE HUNG	F.A.I.	FRESH AIR INTAKE	HORIZ.	HORIZONTAL	MAX.	MAXIMUM	PROP.	PROPERTY	SHT.	SHEET		
@	AT	CLG.	CEILING	DN.	DOWN	FLASH	FLASHING	HGT.	HEIGHT	MECH.	MECHANICAL	PART.	PARTITION	SIM.	SIMILAR	V.C.T.	VINYL COMPOSITE TILE
ANCH.	ANCHORED	C.J.	CEILING JOINT	DIAG.	DIAGONAL	F.E.	FIRE EXTINGUISHER	H.M.	HOLLOW METAL	MFR.	MANUFACTURER	PERF.	PERFORATED	SQ. FT.	SQUARE FOOT	VERT.	VERTICAL
ADJ.	ADJACENT	CL.	CLOSET	DWG.	DRAWING	FIN.	FINISH	I.D.	INSIDE DIAMETER	MIN.	MINIMUM	PL.	PLATE	SPECS.	SPECIFICATIONS	V.T.R.	VENT THRU ROOF
ALUM.	ALUMINUM	CONC.	CONCRETE	(E).	EXISTING	FLR.	FLOOR	INSUL.	INSULATION	M.O.	MASONRY OPENING	PTD.	PAINTED	STIFF.	STIFFENERS		
ALT.	ALTERNATE	CONSTR.	CONSTRUCTION	EA.	EACH	FOUND.	FOUNDATION	INT.	INTERIOR	MTD.	MOUNTED	PR.	PAIR	STL.	STEEL	W/	WITH
APPROX.	APPROXIMATE	C.O.	CLEAN OUT	ELEV.	ELEVATION	F.R.T.	FIRE RETARDANT TREATED	INT.	INTERIOR	M.L.	MICRO LAM	P.T.	PRESSURE TREATED	STOR.	STORAGE	WD.	WOOD
APB	ANTHONY POWER BEAM	C.O.D.P.	CLEAN OUT W/ DECK PLATE	EQUIP.	EQUIPMENT			INT.	INTERIOR	M.S.	MARBLE SADDLE			STRUCT.	STRUCTURE	W.F.	WIDE FLANGE
		CONT.	CONTINUOUS	EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.L.C.	NOT IN CONTRACT	Q.T.	QUARRY TILE	SUSP.	SUSPENDED	V.I.C.	WALK IN CLOSET
		CONTR.	CONTRACT	EXIST.	EXISTING	GALV.	GALVANIZED	JOINT.	JOINT	#, NO.	NUMBER	R.	RISER	TREAD	TREAD	W/O	WITHOUT
BH.	BETTER HEADER	C.T.	CERAMIC TILE	EXP.	EXPANSION	G.C.	GENERAL CONTRACTOR	LAM.	LAMINATE	NOM.	NOMINAL	R.D.	ROOF DRAIN	T.C.	TERRA COTTA		
BM.	BEAM	CRS.	COURSE	EXH.	EXHAUST	GL.	GLASS	LAV.	LAVATORY			RE. BARS	REINFORCING BARS	THK.	THICK		
B.C.	BRICK COURSE	CTR.	COUNTER	EL.	ELEVATION	GYP. BD.	GYP. WALL BOARD	LG.	LONG	O.C.	ON CENTER	RECEPT.	RECEPTICAL	TOIL.	TOILET		
BLDG.	BUILDING			EQ.	EQUAL	GFCI	GROUND FAULT CIRCUIT INTERRUPT	LTS.	LIGHTS	O.D.	OUTSIDE DIAMETER	REINF.	REINFORCED	T.O.P.	TOP OF PLATE		
BLK.	BLOCK			E.W.C.	ELECTRIC WATER COOLER					OPNG.	OPENING	REQ'D.	REQUIRED	TYP.	TYPICAL		
BLKG.	BLOCKING			EXT.	EXTERIOR					OPP.	OPPOSITE	RM.	ROOM				
BOT.	BOTTOM																

### PROJECT DATA

USE GROUP.....5-R  
CONSTRUCTION TYPE.....5B

**BUILDING AREA**  
(CALCULATIONS DONE FROM OUTSIDE FACE OF WALL)

BASEMENT.....PROPOSED 1,032.4 S.F.

1ST FLOOR LIVABLE.....EXISTING 1,483.0 S.F.  
.....PROPOSED 448.9 S.F.  
.....TOTAL 1,931.9 S.F.

2ND FLOOR LIVABLE.....PROPOSED 1,575.4 S.F.

TOTAL LIVABLE AREA.....4,540.2 S.F.

VOLUME (CU. FT.) 4,670 CU. FT. (NEW ADDITION).....24,313.6 C.F.

### SCOPE OF WORK

- THESE SPECIFICATIONS ARE GENERAL IN FORM. THE OWNER IN APPLYING THEM ASSUMES COMPLETE RESPONSIBILITY FOR THEIR SUBSTITUTIONS, CHANGES AND OMISSIONS.
- THE CONTRACTOR SHALL APPLY ALL MATERIALS, FIXTURES AND LABOR NECESSARY TO COMPLETE ALL THE WORK NOTED ON THESE PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM DEFECTS, ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER ACCEPTABLE WITH MODERN PRACTICE.
- THE ARCHITECT LIMITS HIS RESPONSIBILITY IN REGARDS TO THESE DRAWINGS, TO DIMENSIONS SIZE OF THE STRUCTURAL MEMBERS AND MATERIALS BEFORE PROCEEDING. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THE BUILDING IS CONSTRUCTED WITH DIMENSIONS, SIZES, OR MATERIALS, THAT DEVIATE FROM THESE DRAWINGS.
- THE ARCHITECT HAS MADE NO DETERMINATION AS TO THE PRESENCES OF ANY ASBESTOS CONTAINING OR OTHERWISE HARMFUL MATERIAL. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH ANY KNOWLEDGE OF SUCH MATERIALS PRIOR TO COMMENCING THE WORK. THE CONTRACTOR, PRIOR TO SUBMITTING A BID SHALL VISIT THE SITE TO DETERMINE IF ANY VISIBLE ASBESTOS OR OTHER HARMFUL MATERIAL IS PRESENT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY SUCH MATERIAL WHETHER KNOWN PRIOR TO START OF WORK OR UNCOVERED AT ANY TIME DURING THE PROJECT.

### GENERAL NOTES & CODE REFERENCES

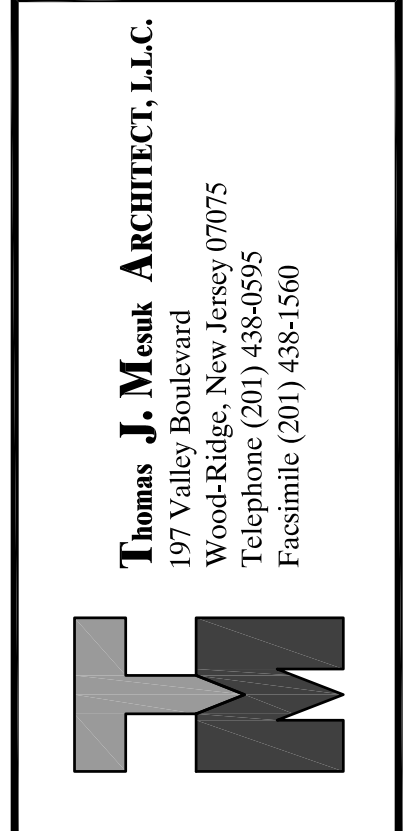
- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR ANY OTHER DOCUMENTS, EACH CONTRACTOR CONCERNED, SHALL WITHIN (7) DAYS AFTER RECEIVING SUCH DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, NOTIFY THE ARCHITECT, IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULT OF ANY SUCH ERROR OR OMISSION AND THE COST OF RECTIFYING THE SAME.
- ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL PHASES OF THE CONSTRUCTION SHALL COMPLY TO LOCAL, STATE, AND FEDERAL SAFETY LAWS.
- ALL ELECTRICAL WORK SHALL COMPLY TO THE NATIONAL ELECTRICAL CODE. (NFPA 70 / 2017)
- ALL PLUMBING WORK SHALL COMPLY TO THE NATIONAL STANDARD PLUMBING CODE 2018 EDITION.
- ALL HEATING, VENTILATION AND AIR CONDITIONING WORK, INSTALLATION AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NJ EDITION OF THE INTERNATIONAL MECHANICAL CODE (2018).
- ALL BUILDING SHALL CONFORM TO INTERNATIONAL RESIDENTIAL CODE - 2018 N.J. EDITION AND REHABILITATION SUBCODE (NUCC, SUBCHAPTER 6)
- ENERGY CONSERVATION: INTERNATIONAL ENERGY CONSERVATION CODE (2018)

### DRAWING LIST

ARCHITECTURAL	
T-1	TITLE SHEET
A-2	PROPOSED CELLAR & FIRST FLOOR PLANS
A-3	PROPOSED SECOND FLOOR AND ROOF PLANS
A-5	ELEVATIONS

NO.	REVISION DESCRIPTION	DATE	BY
1	ISSUED FOR ZONING REVIEW	08/03/21	dujin

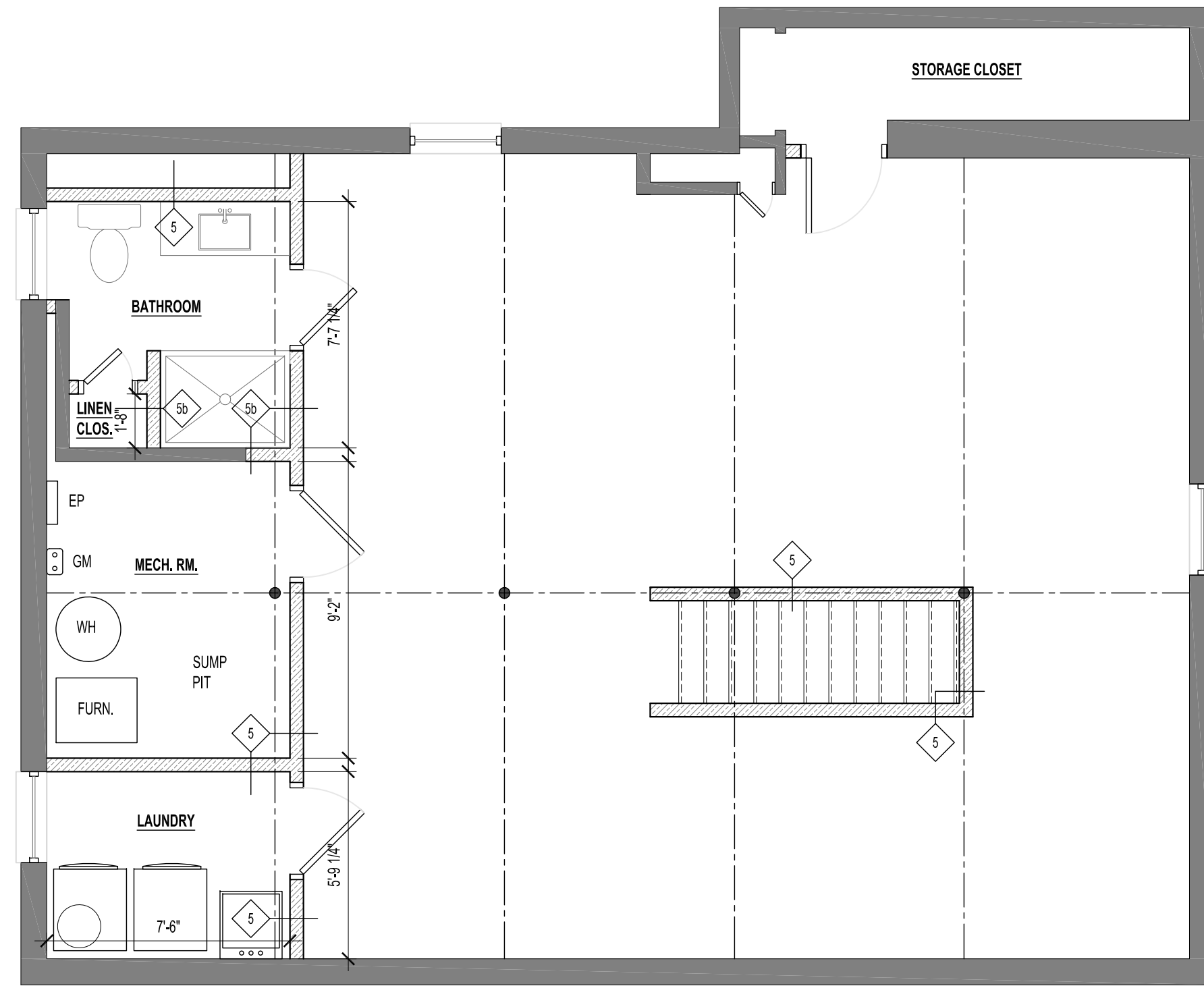
**Thomas J. Masak Architect, L.L.C.**  
197 Valley Boulevard  
Wood-Ridge, New Jersey 07075  
Telephone (201) 438-4595  
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MASSACHUSETTS  
Lic. No. 31860  
NORTH CAROLINA  
Lic. No. 8558  
Lic. No. 01228-1

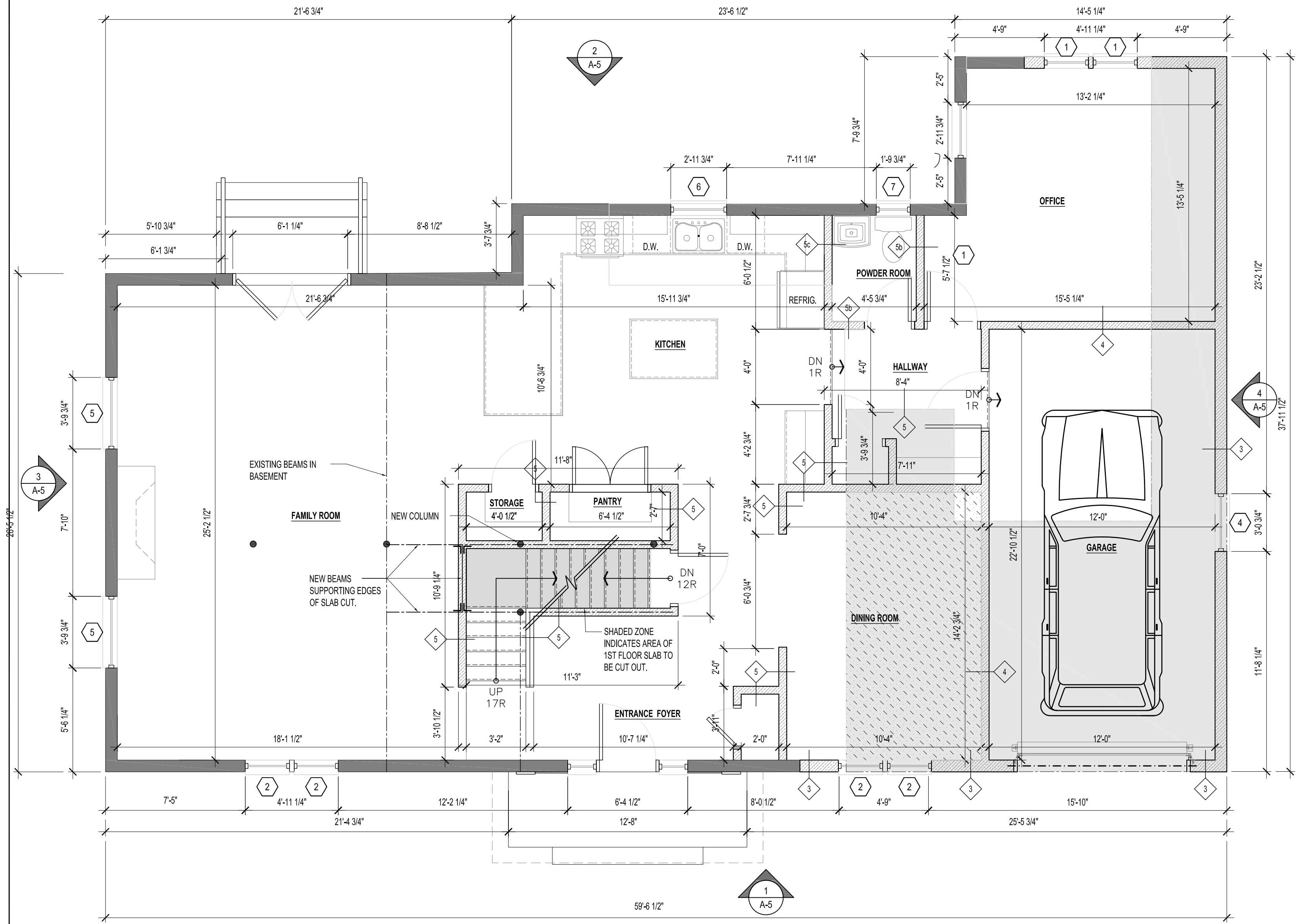
PROJECT:  
ALTERATION / ADDITION FOR:  
INTEGRITY BERGEN L.L.C.  
367 VOMEL DRIVE  
NEW MILFORD, NJ

DRAWING: TITLE SHEET
DRAWING: 8/10/21
DATE: 8/10/21
SCALE:
JOB NO: 21.028
SHEET: T-1
1 OF XX SHEETS



1 PROPOSED CELLAR PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN

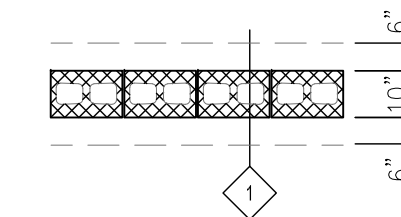
SCALE: 1/4" = 1'-0"

WINDOW #	MODEL #	WINDOW/DOOR TYPE	ROUGH OPENING	EGRESSIBLE WINDOW	REMARKS
1	TW24410	DOUBLE HUNG WINDOW	2'-6 1/2" x 5'-0 1/2"	NO	INSTALLED IN PAIRS
2	TW24510	DOUBLE HUNG WINDOW	2'-6 1/2" x 6'-0 1/2"	YES	INSTALLED IN PAIRS
3	TW721027	DOUBLE HUNG WINDOW	3'-0 1/2" x 2'-9 1/2"	NO	INSTALLED IN PAIRS
4	TW38410	DOUBLE HUNG WINDOW	3'-10 1/2" x 5'-0 1/2"	YES	
5	TW38510	DOUBLE HUNG WINDOW	3'-10 1/2" x 6'-0 1/2"	YES	
6	TW210410	DOUBLE HUNG WINDOW	3'-0 1/2" x 6'-0 1/2"	YES	
7	TW18210	DOUBLE HUNG WINDOW	1'-10 1/2" x 3'-0 1/2"	NO	

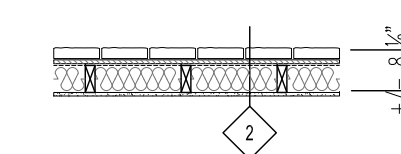
NOTE:  
 \* ALL WINDOWS ON 1ST FLOOR WILL BE SET TO A TOP HEIGHT OF 8'-6" A.F.F.  
 \* ALL WINDOWS ON 2ND FLOOR WILL BE SET TO A TOP HEIGHT OF 8'-8" A.F.F.  
 \* COLOR OF FRAME & SASH TO BE SELECTED BY HOME OWNER.  
 \* ALL WINDOWS BASED ON ANDERSEN 400 SERIES  
 \* CONTRACTOR MAY NOT SUBSTITUTE ANOTHER BRAND NAME WINDOW WITHOUT INFORMING THE HOME OWNER.

**WALL PARTITION TYPES**

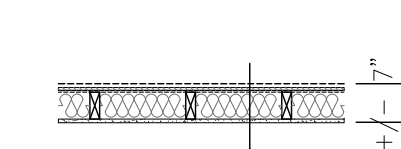
1. PROVIDE FIREBLOCKING/DRAFTSTOPPING CONSTRUCTION PER INTERNATIONAL RESIDENTIAL CODE NEW JERSEY CHAPTER 6 & 8 FOR WALL CONSTRUCTION AND ROOF/CEILING CONSTRUCTION WITH CONCEALED INTERSTITIAL SPACES AND AT ALL CONCEALED SPACES CREATED BY FURRING.
2. AT ALL LOCATIONS WHERE A BATHTUB IS LOCATED ON A FIRE-RATED PARTITION, INSTALL THE GYPSUM WALLBOARD FLOOR TO CEILING PRIOR TO INSTALLATION OF TUB.
3. PROVIDE WATER-RESISTANT GYPSUM WALLBOARD IN ALL BATHROOMS AND WET AREAS. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILED AREAS.
4. DO NOT LOCATE ELECTRICAL PANELS ON FIRE-RATED PARTITIONS.



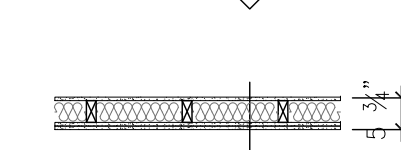
**MASONRY FOUNDATION WALL**  
 10" CMU BLOCK FOUNDATION WALL FILLED SOLID WITH NON SHRINK GROUT, CONSTRUCTED ON TOP OF 22" WIDE X 12" DEEP CONTINUOUS POURED CONCRETE FOOTING WITH (2) #4 REBARS. BOTTOM OF FOOTING TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE.



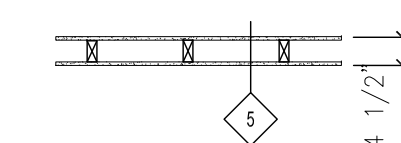
**LOAD BEARING EXTERIOR WALL-W/ STONE**  
 EXTERIOR FACE TO HAVE A COURSE OF CULTURED STONE. 1 1/2" PLYWOOD ON EXTERIOR FACE OF 2x4" WOOD STUDS @ 16" o.c. WITH R-19 BATT INSUL. & 6mil POLYETHYLENE VAPOR BARRIER @ INSIDE FACE. (1) LAYER OF 1/2" G.W.B. ON INSIDE FACE OF 2x4" WOOD STUDS.



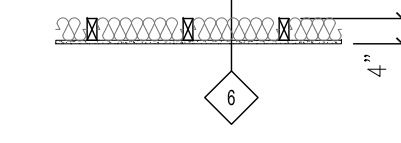
**LOAD BEARING EXTERIOR WALL-W/ SIDING**  
 (1) LAYER 1/2" G.W.B. ON 2x4" WOOD STUDS @ 16" o.c. WITH R-15 BATT INSUL. & 6mil POLYETHYLENE VAPOR BARRIER @ INSIDE FACE. 1/2" LAYER OF EXTERIOR PLYWOOD BLDG. SHEATHING WITH CEMENT BOARD SIDING



**INTERIOR PARTITION WALL**  
 NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. EACH SIDE OF 2x4" WOOD STUDS @ 16" o.c. WITH R-13 BATT INSULATION IN STUD CAVITY. (2) LAYERS 5/8" X TYPE G.W.B. TO GARAGE SIDE TO PROVIDE 1 HOUR FIRE RATING



**INTERIOR PARTITION WALL**  
 NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. EACH SIDE OF 2x4" WOOD STUDS @ 16" o.c. WITH R-13 BATT INSULATION IN STUD CAVITY



**INTERIOR PARTITION WALL**  
 NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. ON ROOM FACING SIDE OF 2x4" WOOD STUDS @ 16" o.c.

(2) SAME AS WALL TYPE 6; ONLY PROVIDE R-15 BATT INSULATION IN STUD CAVITY

DATE:	08/03/21
BY:	dojfm
REVISION DESCRIPTION	
NO.	1
ISSUED FOR ZONING REVIEW	


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 Lic. No. 31860  
 NORTH CAROLINA  
 Lic. No. 8558  
 Lic. No. 031228-1

PROJECT:  
 ALTERATION / ADDITION FOR:  
 INTEGRITY BERGEN L.L.C.  
 367 VOMEL DRIVE  
 NEW MILFORD, NJ

DRAWING: PROPOSED CELLAR & FIRST FLOOR PLANS  
 DRAWN: dojfm  
 DATE: 8/10/21  
 SCALE: AS NOTED  
 JOB NO: 21.028  
 SHEET:

**A-2**  
 OF XX SHEETS







1 FRONT ELEVATION SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION SCALE: 1/4" = 1'-0"

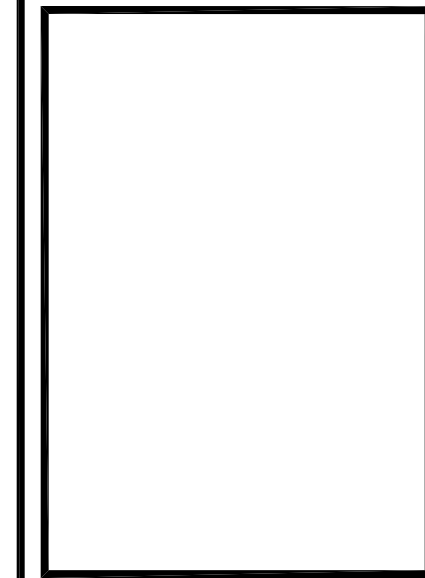


2 REAR ELEVATION SCALE: 1/4" = 1'-0"

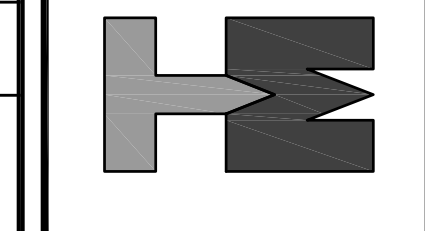


4 RIGHT ELEVATION SCALE: 1/4" = 1'-0"

DATE:	08/03/21
BY:	dotjfm
REVISION DESCRIPTION	
1	ISSUED FOR ZONING REVIEW



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PROJECT:  
 ALTERATION / ADDITION FOR:  
**INTEGRITY BERGEN L.L.C.**  
 367 VOMEL DRIVE  
 NEW MILFORD, NJ

DRAWING: ELEVATIONS  
 DRAWN:  
 dotjfm  
 DATE:  
 8/10/21  
 SCALE:  
 JOB NO:  
 21.028  
 SHEET:  
**A-5**  
 OF XX SHEETS

DRAWING: ELEVATIONS  
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 dotjfm  
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**A-5**  
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