

# CAPIZZI LAW OFFICES

11 Hillside Ave., Second Floor

Tenafly, NJ 07670

MATTHEW G. CAPIZZI, ESQ. 201 266 8300 (o)

N.J., N.Y., & D.C. Bars 201 266 8301 (f)

Capizzilaw.com

-----  
New York Office:

1 Blue Hill Plaza

Lobby Level, Suite 1509

Pearl River, NY 10965

Reply to New Jersey Office

December 13, 2021

## Initial Submittal for Completeness Review

### Via Overnight Mail

Maureen Oppelaar – Secretary

Borough of New Milford Zoning Board of Adjustment

930 River Road

New Milford, NJ 07646

Re: Dengel – New Milford ZBA (the “Applicant”)  
341 Marguerite Street; Block 1206, Lot 31 (the “Property”)

Dear Ms. Oppelaar:

As you are aware, this office represents the Applicant regarding their variance application before the New Milford Zoning Board of Adjustment seeking a building coverage variance relative to the construction of a new modular ranch style home. To that end, enclosed please find the following for completeness review:

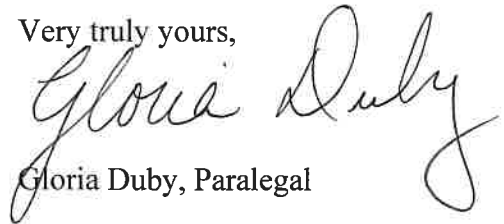
1. Notice of Appeal Zoning Board of Adjustment (17 copies);
2. Borough of New Milford Zoning Work Sheet with Letter of Denial dated December 13, 2021 attached thereto (17 copies);
3. Block Diagram (17 copies);
4. Seepage Pit Design prepared by Azzolina & Feury Engineering, Inc., dated July 21, 2021 and last revised as of November 29, 2021 (17 copies);
5. Engineering Plan prepared by Azzolina & Feury Engineering, Inc., July 21, 2021 and last revised as of November 29, 2021 consisting of one (1) sheet (17 copies);
6. Architectural Plan prepared by Westchester Modular Homes Inc., dated October 12, 2021 consisting of nine (9) sheets (17 copies); and
7. Applicant’s Checks and W9:
  - Check # 2055 in the amount of \$200.00 (Application Fee)
  - Check # 2056 in the amount of \$1,500.00 (Escrow Fee).

Maureen Oppelaar – Secretary  
December 13, 2021  
Page 2 of 2

Kindly advise when this matter has been deemed complete and assigned a hearing date before the New Milford Zoning Board of Adjustment.

Thank you.

Very truly yours,

A handwritten signature in cursive script that reads "Gloria Duby". The signature is written in black ink and is positioned above the typed name.

Gloria Duby, Paralegal

MGC/gd  
Enclosures

Application # \_\_\_\_\_

**NOTICE OF APPEAL  
ZONING BOARD OF ADJUSTMENT  
BOROUGH OF NEW MILFORD, BERGEN COUNTY, NJ 07646**

Property Address 341 Marguerite Street, New Milford NJ 07646 Subject to Sale agreement (YES  NO )

Block 1206 Lot 31 Zone (Residential) - Business- Townhome - other \_\_\_\_\_

Size of Lot 10,234 Sq. Ft. Present use (Residential) - Business- Townhome- other \_\_\_\_\_

Owned  Leased - If property is within 200' of Borough line name adjacent municipality(ies) N/A

Name of Owner John and Janet Dengel Telephone \_\_\_\_\_

Owner's Address (if different from above) \_\_\_\_\_

Name of Applicant (if not homeowner) John and Janet Dengel c/o Matthew G. Capizzi, Esq.

Applicant address 11 Hillside Avenue, 2nd Floor, Tenafly NJ 07670 Phone Number 201-266-8300

Name of Attorney Matthew G. Capizzi, Esq. Phone Number 201-266-8300 Attending Meeting Yes

Name of Architect Four7Construction Phone Number 201-857-2881 Attending Meeting No

Name of Engineer: Perry Frenzel, P.E. Phone Number: 201-845-8500 Attending Meeting: Yes

The applicant/homeowner hereby seeks relief from section (s) \_\_\_\_\_ of the New Milford Borough Ordinance. (statute numbers from denial letter)

30-21.4(c)(1)

The proposed application is contrary to the ordinance in the following way(s). Be specific attach a separate sheet if necessary. (What you are proposing and why it violates the zoning ordinance).

Maximum Building Coverage: (20% Maximum Allowed v. 22.52% Proposed)

	Lot Area	Front	Right Side	Left Side	Corner	Rear	Height	Building Coverage
Required	<u>7,500 sq.ft.</u>	<u>28.27'</u>	<u>10'</u>	<u>10'</u>	<u>30'</u>	<u>34.1'</u>	<u>30'</u>	<u>20%</u>
Existing	<u>10,234 Sq. Ft.</u>	<u>15.2'</u>	<u>42.7'</u>	<u>3.8'</u>	<u>N/A</u>	<u>74.9'</u>	<u>29.95'</u>	<u>17.6%</u>
Proposed	<u>n/a</u>	<u>28.5'</u>	<u>10.9'</u>	<u>10.1</u>	<u>N/A</u>	<u>55.3'</u>	<u>28.02'</u>	<u>22.52%</u>
Difference	<u>n/a</u>	_____	_____	_____	_____	_____	_____	_____

Driveway Width Required 20' Existing 10'-12' Proposed 18' Curb Cut  Y  N | Size 18'

Are trees being removed YES/NO  YES  NO How many 2 Shade Tree Commission date approved \_\_\_\_\_

Signature of Applicant \_\_\_\_\_ Attorney for Applicant Date 12/13/2021

Filed on behalf of Applicant by Matthew G. Capizzi, Esq. Title Applicant's Attorney



# Borough of New Milford

## Department of Public Works

850 Robert K. Chester Way, New Milford, New Jersey 07646  
Tel.: (201) 967-8172 Fax: (201) 967-1741  
Mailing address:  
930 River Road, New Milford, New Jersey 07646

VINCENT A. CAHILL, CPWM, CFM, CRP  
Director of Public Works  
Zoning Officer  
Recycling/Clean Communities Coordinator  
Property Maintenance Officer  
[vcahill@newmilfordboro.com](mailto:vcahill@newmilfordboro.com)

SYL BRESA, CPWM  
Superintendent of Public Works  
Property Maintenance Officer  
[sbresa@newmilfordboro.com](mailto:sbresa@newmilfordboro.com)

December 13, 2021

John and Janet Dengel  
341 Marguerite Street  
New Milford, New Jersey 07646

Re: Permit Application revised denial letter.

Dear Mr. and Mrs. Dengel,

This letter is to inform you that your application to construct a new home at the above address has been denied. The construction violates Borough codes 30-21.4 (c) (1) maximum building coverage, and any other that the Board may deem necessary.

Your lot size is 10,234 square feet (sq ft) you are permitted 2,046.87 sq ft of building coverage and your request is 2,736 sq ft or 22.52% where 20% is allowed.

If approved by the Board, you will be required to post escrow fees for seepage pit and soil movement permit review as well as permit fees.

30-21.4 Area Requirements.

- c. *Maximum Building and Impervious Coverage Requirements.* Within the Residential A and Residential B Zones, maximum building coverage requirements shall be as follows:
  1. Maximum building coverage: 20 percent.

If you wish to schedule a meeting with the Zoning Board of Adjustment please contact Board Secretary, Maureen Oppelaar, at 201-967-5044 extension 5560.

Sincerely,

Vincent A Cahill, CPWM, CRP  
Zoning Officer

**BOROUGH OF NEW MILFORD ZONING WORK SHEET**

930 River Road, New Milford, NJ 07646 - (201) 967-8172 fax (201) 967-1741

Owner John & Janet Dengel Proposed Project New Single Family House Corner Property YES [ ] NO [X]

Project address 341 Marguerite Street Phone Number 201-988-1439

E-mail address janetd1014@aol.com

**INSTRUCTIONS** Please fill in the zoning work sheet in the spaces where applicable based on your construction project. **Include a copy of your survey** with your project sizes, dimensions and setback figures drawn on it. You are certifying the below figures are true.

**Setback Requirements**

- Sheds, Detached Garages** 5' from rear & side yard ( Sheds 9' high, Garages/ Gazebos 15' high)
- Pools** 6' from rear & side yard (everything associated with pool, such as walkways, heater, filter, etc.)
- IN GROUND POOLS -** Two typography site plans are required and \$500 escrow deposit for engineer review, inspection fees. Drainage retention systems may be required to comply with the zero run off ordinance, to be determined after engineer review.
- Front yard setback** The average setback line of the buildings situated within the same block & within (200') feet of either side lot line or 30 feet if no building exists within (200') feet & measured in a direction parallel to the street on which the lot faces. For any proposed front yard project please **include front yard worksheet**.
- Rear yard setback** 25% of lot depth, 20' minimum if your lot is less than 100' deep.
- Side yard setback** 10' setback for lots 65' or more of the front width of your property  
7.5' setback for lots 64' or less front width of your property
- Corner setback** 30' setback
- Height** 30' high, measured from the average of four corners from the grade to the highest point of the roof.
- Story** Where the basement ceiling is at least 3 feet above the average finished grade along any side of the building the basement shall count as one story.

**SETBACK WORKSHEET**

<b>Front Yard Setback (30-21.5)</b> (Include separate front yard worksheet for all porches, porticos)			Variance Needed
Requirement <u>28.27'</u>	Existing <u>15.2'</u>	Proposed <u>28.5'</u>	Yes [ ] No [X]
<b>Rear Yard Setback (30-21.5b)</b>			
Requirement <u>34.1'</u>	Existing <u>74.9'</u>	Proposed <u>55.3'</u>	Yes [ ] No [X]
<b>Right Side Yard Setback (30-21.5c)</b>			
Requirement <u>10.0'</u>	Existing <u>42.7'</u>	Proposed <u>10.9'</u>	Yes [ ] No [X]
<b>Left Side Yard Setback (30-21.5c)</b>			
Requirement <u>10.0'</u>	Existing <u>3.8'</u>	Proposed <u>10.1'</u>	Yes [ ] No [X]
<b>Corner Setback (30-21.5c1 &amp; c2)</b>			
Requirement <u>30'</u>	Existing <u>n.a.</u>	Proposed <u>n.a.</u>	Yes [ ] No [X]
<b>Height (30-21.6)</b>			
Requirement <u>30'</u>	Existing <u>29.95'</u>	Proposed <u>28.02'</u>	Yes [ ] No [X]
<b>Stories (30-21.6) &amp; definition of story</b>			
Requirement <u>2 ½ stories</u>	Existing <u>2 Stories</u>	Proposed <u>2 1/2 Stories</u>	Yes [ ] No [X]

**Maximum Building Coverage Requirements determined by lot size (30-21.4)**

Your lot size 10,234 SQ.FT. x 0.20 = 2,046.8 SQ. FT. ←Your requirement (A)

**Maximum Total Impervious Coverage Requirements (30-21.4)**

Your lot size 10,234 SQ. FT. x 0.40 = 4,093.6 SQ. FT. ←Your requirement (B)

**Lot Coverage Worksheet** (for all projects, additions, decks, porches, etc.)

ITEM NO.	DESCRIPTION	EXISTING (SQUARE FEET)	PROPOSED (SQUARE FEET)	REMARKS
1	BUILDING FOOTPRINT	1,372	2,305	Includes Covered Porch
2	DETACHED GARAGE	431		Existing To Be Removed
3	ROOFED PORCHES, PATIOS AND BREEZEWAYS			
4	STORAGE SHEDS			
5	OTHER ACCESSORY BULDINGS			
6	DRIVEWAYS AND PARKING AREAS	1,480	513	
7	OPEN PORCHES, TERRACES, PATIOS AND DECKS	201	831	
8	STEPS AND WALKWAYS	80	99	
9	SWIMMING POOLS			
10	OTHER IMPERVIOUS SURFACES		21	A/C & Generator
<b>11</b>	<b>TOTAL BUILDING COVERAGE</b> (ADD ITEMS 1 THROUGH 5)	1,803 S.F. 17.6 %	2,305 S.F. 22.52 %	DIVIDE THE TOTAL SQUARE FOOT AREA BY THE LOT AREA TO DETERMINE % OF COVERAGE
<b>12</b>	<b>TOTAL IMPERVIOUS COVERAGE</b> (ADD ITEMS 1 THROUGH 10)	3,564 S.F. 34.8 %	3,769 S.F. 36.8 %	

Variance Needed

**BUILDING COVERAGE:** Required 2,046.8 (A), Proposed: 2,305 (11) Yes  No

**TOTAL IMPERVIOUS LOT COVERAGE** Required 4,093.6 (B), Proposed: 3,769 (12) Yes  No

**Pools (23-3.2)** (In ground, Above ground, Semi- in ground) and everything associated with the pool (filters, heaters, and walkway)

Side Requirement 6' Existing n.a. Proposed n.a. Type of pool:  
 Rear Requirement 6' Existing n.a. Proposed n.a. INGROUND  ABOVE GROUND  SEMI

The determination of the need or lack of need for a variance is not binding on the Borough of New Milford. That determination may only be made by the appropriate land use board or through the judicial process, the applicant, by making this request for a zoning determination expressly waives any argument of municipal estoppel.

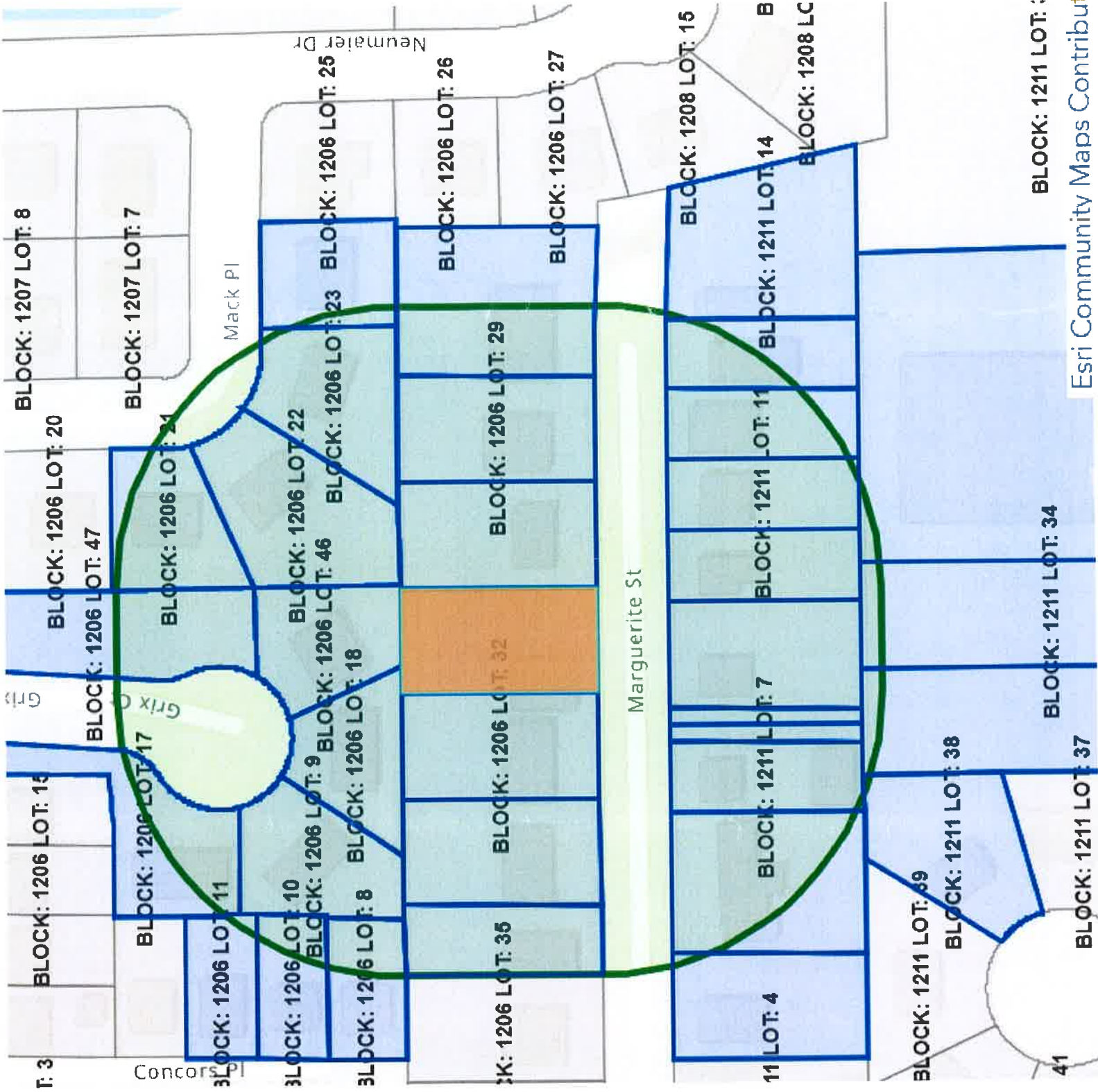
Survey and as built plans may be required for this project.

Homeowner/ Architect/ Contractor Signature [Signature] Phone Number 201-266-8300  
 Attorney for Applicant

**For Office Use Only:**

Approved  Denied  Variances Needed: 30-21.4(c)(1)  
[Signature] DATE 12/13/2021

Vince Cahill – Zoning Officer 201-967-8172



F: 3

Concor Pl

Mack Pl

Marguerite St

Neumaier Dr

BLOCK: 1207 LOT: 8

BLOCK: 1207 LOT: 7

BLOCK: 1206 LOT: 20

BLOCK: 1206 LOT: 47

BLOCK: 1206 LOT: 24

BLOCK: 1206 LOT: 22

BLOCK: 1206 LOT: 23

BLOCK: 1206 LOT: 25

BLOCK: 1206 LOT: 26

BLOCK: 1206 LOT: 27

BLOCK: 1206 LOT: 29

BLOCK: 1208 LOT: 15

BLOCK: 1211 LOT: 14

BLOCK: 1208 LC

BLOCK: 1206 LOT: 15

BLOCK: 1206 LOT: 17

BLOCK: 1206 LOT: 11

BLOCK: 1206 LOT: 10

BLOCK: 1206 LOT: 9

BLOCK: 1206 LOT: 18

BLOCK: 1206 LOT: 35

BLOCK: 1206 LOT: 32

BLOCK: 1211 LOT: 7

BLOCK: 1211 LOT: 11

BLOCK: 1211 LOT: 39

BLOCK: 1211 LOT: 38

BLOCK: 1211 LOT: 37

BLOCK: 1211 LOT: 34

BLOCK: 1211 LOT: :

41

**SEEPAGE PIT DESIGN**

**JOHN & JANET DENGEL**  
341 MARGUERITE STREET  
BLOCK 1206 - LOT 31  
BOROUGH OF NEW MILFORD  
BERGEN COUNTY, NEW JERSEY  
FILE #12160

July 21, 2021  
Revised; November 29, 2021

AZZOLINA & FEURY ENGINEERING, INC.  
CONSULTING ENGINEERS  
PARAMUS, NEW JERSEY

A handwritten signature in black ink, appearing to read 'Perry E. Frenzel', written over a horizontal line.

Perry E. Frenzel, P.E.  
Professional Engineer  
N. J. Lic. #28190



**JOHN & JANET DENGEL**  
Block 1206 – Lot 31  
341 Marguerite Street  
Borough of New Milford  
Bergen County, New Jersey

Prepared by: JF  
Checked by: PEF  
Date: July 21, 2021  
Rev. Nov. 29, 2021  
Job #12160

### SEEPAGE PIT SYSTEM DESIGN

Drainage Area: 2,525 ft<sup>2</sup> (Impervious; Entire Roof Area)

Design Storm: 3.0 in./hr. Intensity, 1 hr. Duration  
3.0 in. of Total Rainfall

Volume of Runoff: {3.0 in. / (12 in./ft.)} x 2,525 ft<sup>2</sup> = **631 ft<sup>3</sup>**

### SEEPAGE PIT SYSTEM VOLUME

(2 Pits)

6 ft. Diameter, 3' Deep  
3' Stone Around, 2' Under  
(See Plan for Detail)

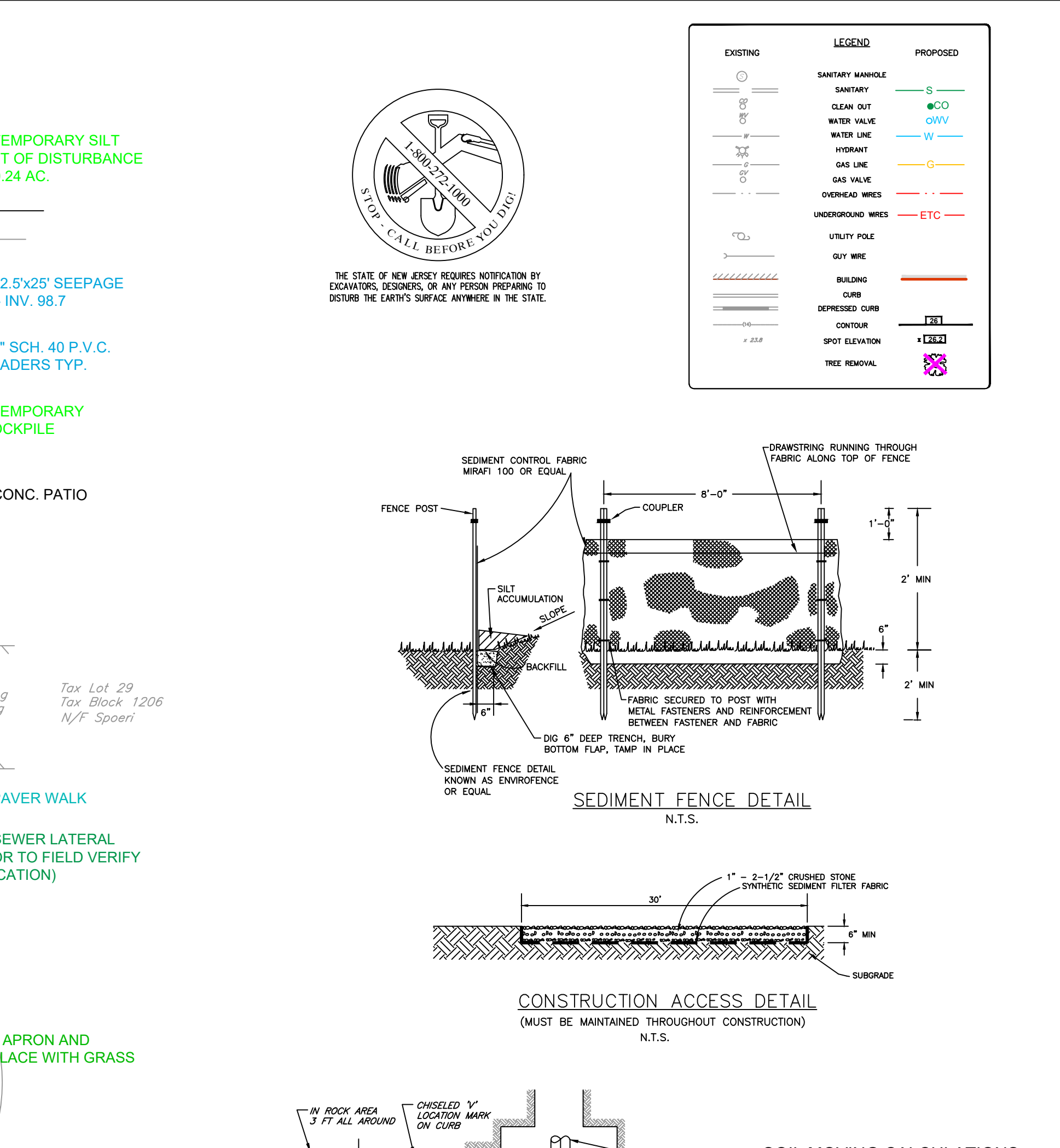
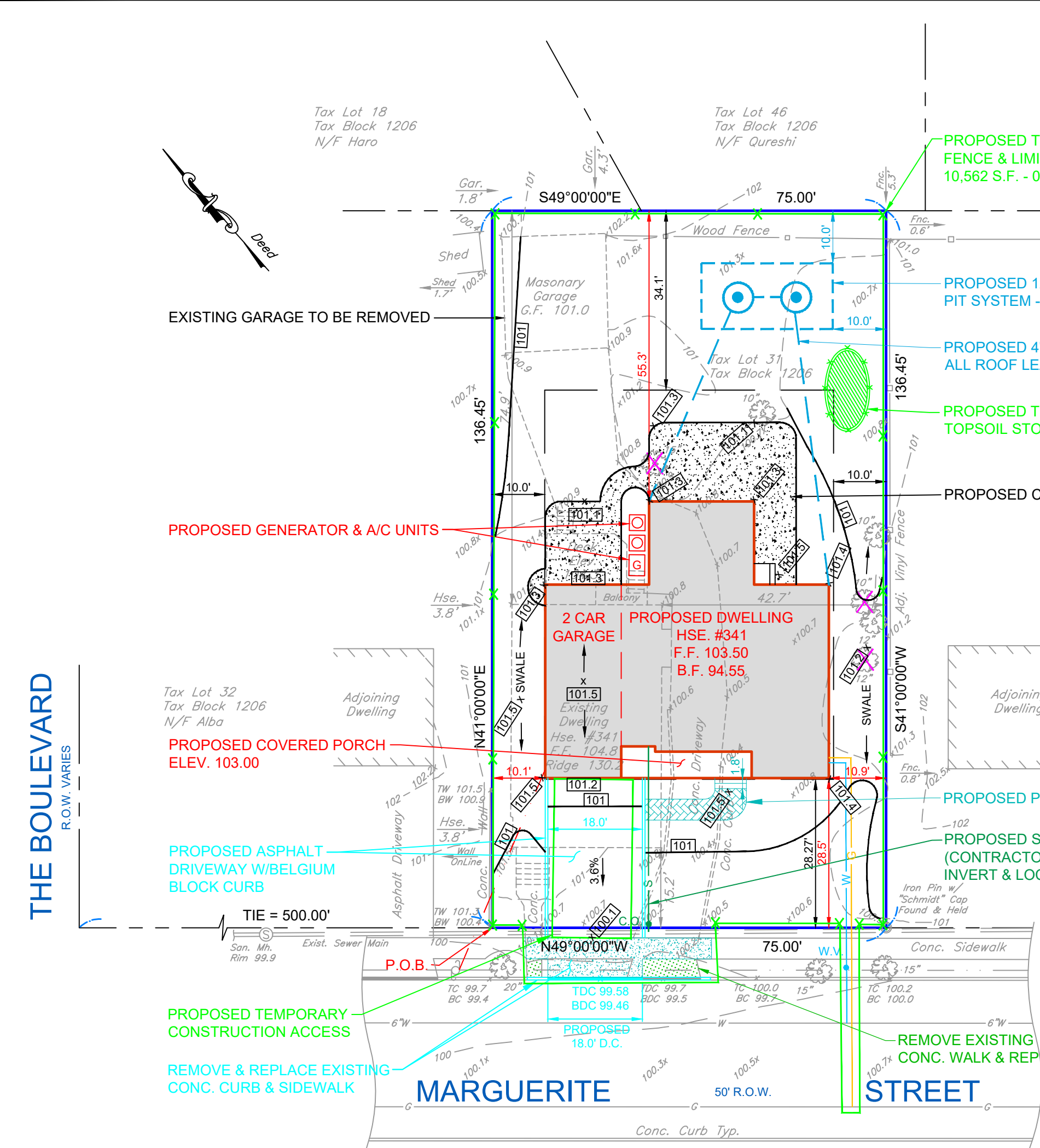
Pit Volume:  $2(\pi R^2 H) = 2\{\pi(3^2)(2.67')\} = **151 ft^3**$

Stone Volume around Pit:  $\{(V_{\text{Stone}}) - (V_{\text{Seepage Pit}})\} \times 40\% \text{ Voids}$   
 $(W \times L \times H) - 2(\pi R_{\text{outer}}^2 H)\} \times 40\% \text{ Voids}$   
 $(12.5' \times 25' \times 3') - 2(\pi(3.25)^2(3'))\} \times .40 = **295 ft^3**$

Volume of Stone under Pit:  $(W \times L \times H) \times 40\% \text{ Voids} = (12.5' \times 25' \times 2') \times .40 = **250 ft^3**$

Total Volume of Pit: 151 + 295 + 250 = **696 ft<sup>3</sup>**

**Storage Provided 696 ft<sup>3</sup> > 631 ft<sup>3</sup> Storage Required**

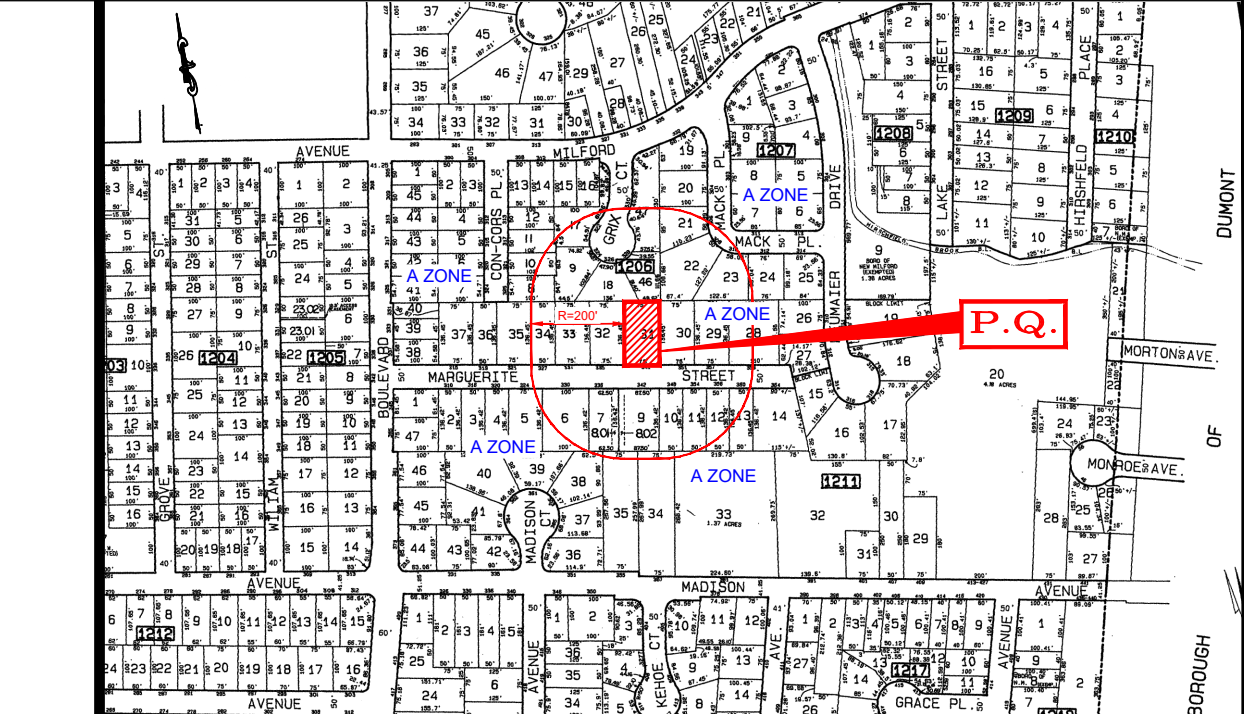


**LEGEND**

EXISTING	LEGEND	PROPOSED
○	SANITARY MANHOLE	—S—
○	CLEAN OUT	—CO—
○	WATER VALVE	—WV—
○	WATER LINE	—W—
○	HYDRANT	—H—
○	GAS LINE	—G—
○	GAS VALVE	—GV—
○	OVERHEAD WIRES	—OW—
○	UTILITY POLE	—UP—
○	GUY WIRE	—GW—
○	RAILING	—R—
○	CURB	—C—
○	DEPRESSED CURB	—DC—
○	CONTOUR	—CON—
○	SPOT ELEVATION	—SE—
○	TREE REMOVAL	—TR—

**NOTES CONTINUED:**

- PROPOSED BUILDING HEIGHT CALCULATION:  
AVERAGE FINISHED GRADE  
101.3+101.0+101.4+101.4+101.4+101.5+101.5+101.4 = 810.9 / 8 = 101.36  
F.F. ELEVATION = 103.50  
F.F. TO RIDGE = 25.88'  
RIDGE ELEVATION = 129.38  
BUILDING HEIGHT = 28.02'
- STORY CALCULATIONS:  
BASEMENT CEILING = 102.65  
CURB LEVEL = 100.00 (TAKEN AT TOP OF CURB AT MID-POINT OF P.O.)  
DIFFERENCE = 2.65 < 3 FT.
- EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL EXISTING SITE AMENITIES ARE TO BE REMOVED UNLESS NOTED.
- THERE ARE THREE (3) TREES TO BE REMOVED.
- APPLICANT TO PERFORM SOIL LOG & PERCOLATION TEST AT THE TIME OF THE FOOTING EXCAVATION. TEST TO BE PERFORMED AT THE LOCATION OF THE PROPOSED SEEPAGE PIT.
- SEEPAGE PIT MAINTENANCE, TWICE ANNUALLY AS WELL AS, AFTER EVERY RAINFALL EVENT GREATER THAN 2 INCHES EACH PIT SHALL BE OPENED & CLEANED OF ACCUMULATING LEAVES AND/OR SEDIMENT BY OWNER.
- OVERFLOW TEE CONNECTIONS AND SPLASH BLOCKS TO BE INSTALLED AT ALL ROOF LEADER DRAIN DOWNPOUTS. ALL ROOF LEADERS TO BE CONNECTED TO THE SEEPAGE PIT SYSTEM.
- APPLICANT GRANTS BOROUGH OFFICIALS AND EMPLOYEES PERMISSIONS TO ENTER PROPERTY FOR THE PURPOSE OF SURVEYS/INSPECTIONS.
- THE APPLICANT SHALL BE RESPONSIBLE TO ADDRESS ANY POST CONSTRUCTION DRAINAGE ISSUES AS A RESULT OF THE PROJECT AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE BOROUGH CONSTRUCTION DEPARTMENT AND BOROUGH ENGINEER.
- ALL CONSTRUCTION WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE N.J. UNIFORM CONSTRUCTION CODE, FEDERAL, STATE, AND LOCAL REQUIREMENTS.



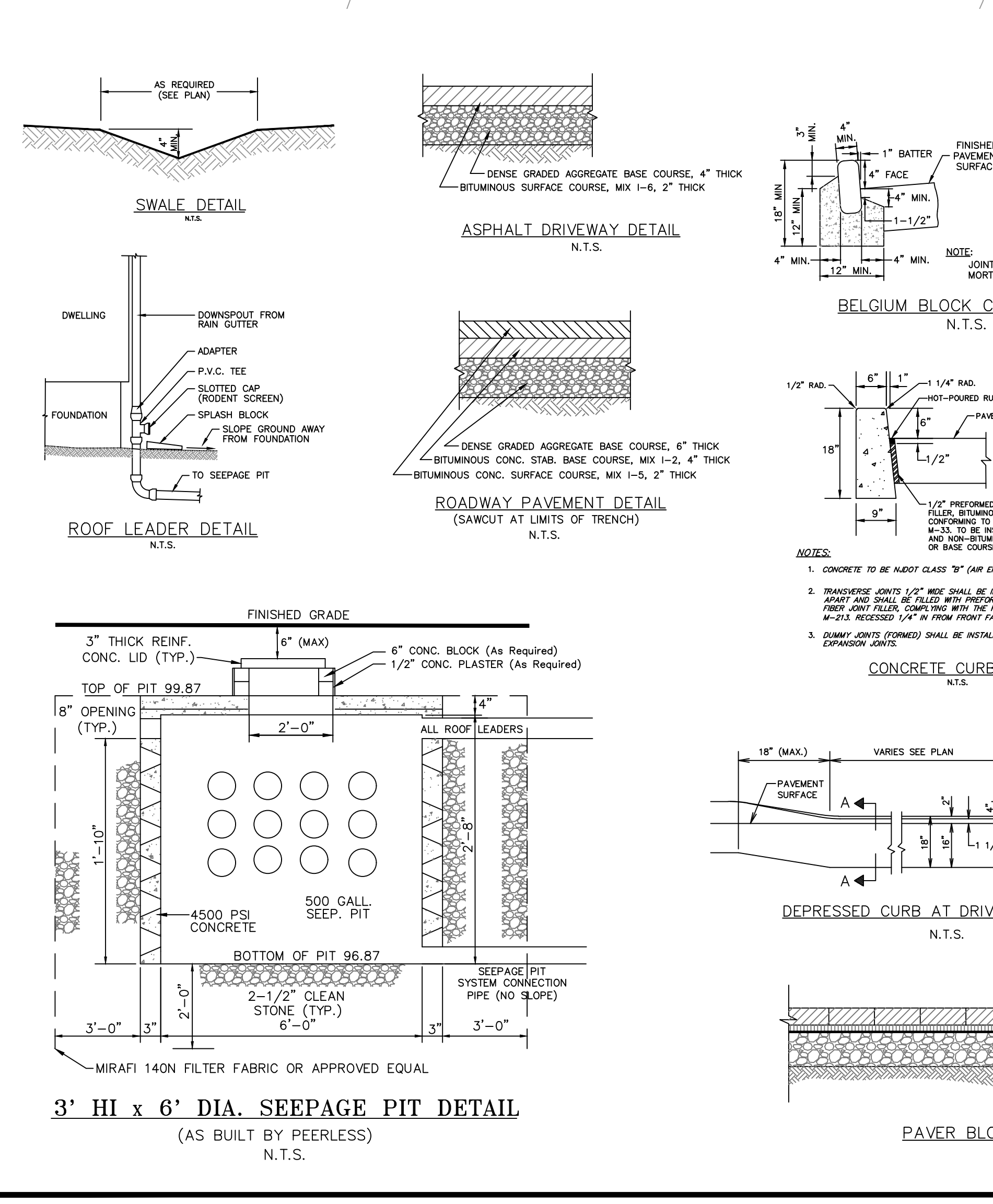
**NOTES:**

- PROPERTY KNOWN AS LOT 31 IN BLOCK 1206 AS SHOWN ON THE CURRENT TAX MAP SHEET 12, REVISED 4-15-03, OF THE BOROUGH OF NEW MILFORD.
- PROPERTY OWNER/APPLICANT: JOHN & JANET DENGEL  
341 MARGUERITE STREET  
NEW MILFORD, N.J.
- AREA OF ENTIRE PROPERTY: 10,234 S.F. or 0.235 AC.
- VERTICAL ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM.
- LOT CORNERS WERE NOT SET AS PER CONTRACTUAL AGREEMENT WITH PURCHASER OF PROPERTY.
- PROPERTY LOCATED IN THE RESIDENTIAL A ZONE.
- ZONING DATA:

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	7,500 S.F.	10,234 S.F.	10,234 S.F.
AVG. LOT WIDTH	75.0'	75.0'	75.0'
MIN. FRONT YARD	28.2'	15.2' (E)	28.5'
MIN. REAR YARD (25% DEPTH)	34.1'	74.9'	55.3'
MIN. SIDE YARD	10.0'	3.8' (E)	10.1'
MAX. BUILDING COVERAGE	20.0% (2,046.8 S.F.)	17.6%	22.52% (V)
MAX. TOTAL IMPER. COVER.	40.0% (4,093.6 S.F.)	34.8%	36.8%
MAX. BUILDING HEIGHT	2.5 STY. - 30.0'	2 STY. - 29.95'	2.5 STY. - 28.02'
MAX. NO. FAMILIES/PBLDG.	1	1	1
MIN. FRONT YARD COVER.	30.0%	20.8%	28.6%
ACC. BUILDING (GARAGE)			
MIN. SIDE & REAR SETBACK	5.0'	1.8' (E)	N.A.
MAX. HEIGHT	15.0'	<15'	N.A.
MAX. STEPS INTO FRONT STBK.	4.0'	20.0' (E)	1.8'
MAX. CURB CUT	20.0'	14.0'	18.0'

(E) = DENOTES EXISTING NON CONFORMANCE (V) = DENOTES VARIANCE REQUIRED

- FRONT YARD SETBACK CALCULATIONS:  
LOT 327 = 17.2' LOT 357 = 31.0'  
LOT 331 = 31.9' LOT 359 = 32.2'  
LOT 335 = 31.3' 169.6' / 6 = 28.27'  
LOT 351 = 26.0'
- BUILDING COVERAGE CALCULATIONS:  
EXISTING  
DWELLING = 1,372 S.F.  
GARAGE = 431 S.F.  
1,803 S.F. / 10,234 S.F. = 17.6%
- PROPOSED  
DWELLING = 2,305 S.F. / 10,234 S.F. = 22.52% (INCLUDES COVERED PORCH)
- IMPERVIOUS COVERAGE CALCULATIONS:  
EXISTING  
BLDG. COVERAGE = 1,803 S.F.  
DRIVEWAY = 1,480 S.F.  
DECK = 201 S.F.  
WALKS & STEPS = 80 S.F.  
3,564 S.F. / 10,234 S.F. = 34.8%
- PROPOSED  
BLDG. COVERAGE = 2,305 S.F.  
DRIVEWAY = 513 S.F.  
PATIO = 831 S.F. (INCLUDES STEPS)  
FRONT WALK = 99 S.F. (INCLUDES STEPS)  
GENERATOR = 12 S.F.  
A/C UNITS = 9 S.F.  
3,769 S.F. / 10,234 S.F. = 36.8%
- FRONT YARD COVERAGE CALCULATIONS:  
EXISTING  
FRONT YARD AREA = 1,140.2 S.F.  
DRIVEWAY AREA = 157 S.F.  
FRONT WALK/STEPS = 80 S.F.  
237 S.F. / 1,140.2 S.F. = 20.8%
- PROPOSED  
FRONT YARD AREA = 2,137.5 S.F.  
DRIVEWAY AREA = 513 S.F.  
FRONT WALK/STEPS = 99 S.F.  
612 S.F. / 2,137.5 S.F. = 28.6%



**BERGEN COUNTY SOIL CONSERVATION DISTRICT NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unrotted straw at a rate of 2 tons per acre anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:  
A. Temporary Seeding and Mulching:  
Ground Limestone - Applied uniformly according to soil test recommendations.  
Fertilizer - Apply 11 lbs. /1,000 sf of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil a minimum of 4".  
Seed - perennial ryegrass 100 lbs./acre (2.3 lbs./1,000 sf) or other approved seed; plant between March 1 and May 15 or between August 15 and October 1.  
Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).  
B. Permanent Seeding and Mulching:  
Topsoil - A uniform application to an average depth of 5", minimum of 4" firmed in place is required.  
Ground Limestone - Applied uniformly according to soil test recommendations.  
Fertilizer - Apply 11 lbs. /1,000 sf of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil a minimum of 4".  
Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (6 lbs./1,000 sf) or other approved seed; plant between March 1 and October 1.  
(Summer seeding requires irrigation)  
Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" - 2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance; Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649. Tel: 201-261-4407; Fax: 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all report of compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.  
Revised 12/7/17

**SOIL MOVING CALCULATIONS:**

**BASEMENT EXCAVATION**  
AREA OF NEW BASEMENT = 1,420 S.F.  
94.36 (B.F.) - 6' = 93.86  
AVG. GRADE AROUND BASEMENT = 100.83  
100.83 - 93.86 = 6.97' CUT  
1,420 S.F. x 6.97' = 9,897 C.F. / 27 = 367 C.Y. (CUT)

**BASEMENT EXCAVATION**  
AREA OF BASEMENT AT EXISTING BASEMENT = 221 S.F.  
94.36 (B.F.) - 6' = 93.86  
EXISTING BASEMENT ELEVATION = 95.80 - 6' = 95.30  
95.30 - 93.86 = 1.44' CUT  
221 S.F. x 1.44' = 318 C.F. / 27 = 12 C.Y. (CUT)

**GARAGE SLAB FILL @ EXISTING BASEMENT**  
AREA OF GARAGE = 476 S.F.  
101.50 (G.F.) - 6' = 101.00  
EXIST. BASEMENT ELEVATION = 95.80 - 6' = 95.30  
101.00 - 95.30 = 5.5' FILL  
476 S.F. x 5.5' = 2,623 C.F. / 27 = 100 C.Y. (FILL)

**EXISTING BASEMENT FILL**  
AREA OF EXISTING BASEMENT = 467 S.F.  
95.80 (B.F.) - 6' = 95.30  
AVG. GRADE AROUND BASEMENT = 100.83  
100.83 - 95.30 = 5.53' FILL  
467 S.F. x 5.53' = 2,583 C.F. / 27 = 96 C.Y. (FILL)

**SEEPAGE PIT EXCAVATION**  
12.5x25x5' = 1,563 C.F. / 27 = 58 C.Y. (CUT)

**GRADING FILL**  
750 S.F. x 0.5' AVG. = 375 C.F. / 27 = 14 C.Y. (FILL)

**GRADING EXCAVATION**  
1,250 S.F. x 0.5' AVG. = 625 C.F. / 27 = 23 C.Y. (CUT)

TOTAL CUT = 460 C.Y.  
TOTAL FILL = 210 C.Y.  
TOTAL TO BE EXPORTED = 250 C.Y.  
TOTAL SOIL MOVEMENT = 670 C.Y.

**SOIL MOVING PERMIT REQUIRED**

**CONSTRUCTION SEQUENCE (SITEWORK):**

CONSTRUCTION SEQUENCE (SITEWORK):	DURATION:
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.	1 DAY
2. CONSTRUCT SILT FENCE.	1 DAY
3. CLEAR SITE WITHIN LIMIT OF DISTURBANCE, STRIP AND STOCKPILE TOPSOIL AND GRADE SITE.	1 DAY
4. EXCAVATE FOR FOUNDATION & SEEPAGE PIT.	1 WEEK
5. CONSTRUCT BUILDING AND APPURTENANCES.	3 MONTHS
6. CONSTRUCT ROOF DRAINS AND SEEPAGE PIT.	2 DAYS
7. AFTER BUILDING IS COMPLETE, PERFORM FINAL GRADING, UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE & INSTALL FINAL LANDSCAPING.	1 WEEK
8. CONSTRUCT BASE COURSE PAVEMENT AND FINAL PAVEMENT COURSE.	1 DAY
9. REMOVE EROSION CONTROL DEVICES WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.	1 DAY

**GRAPHIC SCALE**

1 inch = 20 ft.

**As Per Client** PEP

**Building & Lot Coverage** PEP

Date: 8-4-21 Description: General Revision Check By: PEP

**PLOT PLAN & SOIL EROSION CONTROL PLAN**

Prepared For

**JOHN & JANET DENGEL**

341 MARGUERITE STREET  
Block 1206 - Lot 31

Borough Of New Milford  
Bergen County New Jersey

**Azzolina & Feury Engineering Inc.**  
PROFESSIONAL ENGINEERS AND LAND SURVEYORS

90 Madison Avenue, Paramus, NY 07652 (201) 261-8000 Fax: (201) 261-8005  
110 State Road, Monroe, NJ 10806 (940) 782-8661 Fax: (940) 782-4212

**N.J. CERTIFICATE OF AUTHORIZATION**  
24GA28008600

Date: 7-21-21 Drawn By: JF Checked By: PEP  
Scale: 1" = 20' Dwg. No. 1 of 1 Job No.: 12160

1 ELEVATIONS  
 2 FOUNDATION PLAN  
 3A,3B FLOOR PLAN  
 4 CROSS SECTION  
 6A,6B ELECTRICAL PLAN  
 8 STD. NOTES & DETAILS

TOTAL AREA =2,423 SQ. FT.  
 USE GROUP =R5  
 CONST. CLASS =VB  
 ROOF LIVE LOAD  $\leq$  40 LB/SF  
 WIND LOAD(vult) =115 MPH  
 EXPOSURE CATEGORY =B  
 GROUND SNOW LOAD  $\leq$  40 LB/SF  
 FLOOR LIVE LOAD  
 LIVING AREAS =40 LB/SF  
 SLEEPING AREAS =30 LB/SF

**NOTE:**  
 - ALL DESIGN & INSTALLATION OF HEAT TO BE ON SITE BY B/P.

**NOTE:**  
 - WHOLE HOUSE VENTILATION SYSTEM TO BE DESIGNED, SUPPLIED, AND INSTALLED ON SITE BY B/P PER TABLE M1505.4.3(1).

\* DESIGNED TO THE FOLLOWING:  
 -2018 NJ RESIDENTIAL CODE  
 -2018 WOOD FRAME CONSTRUCTION MANUAL  
 -2018 NAPHCC NATIONAL STANDARD PLUMBING CODE  
 -2017 NATIONAL ELECTRICAL CODE  
 -2018 INTERNATIONAL ENERGY CONSERVATION CODE

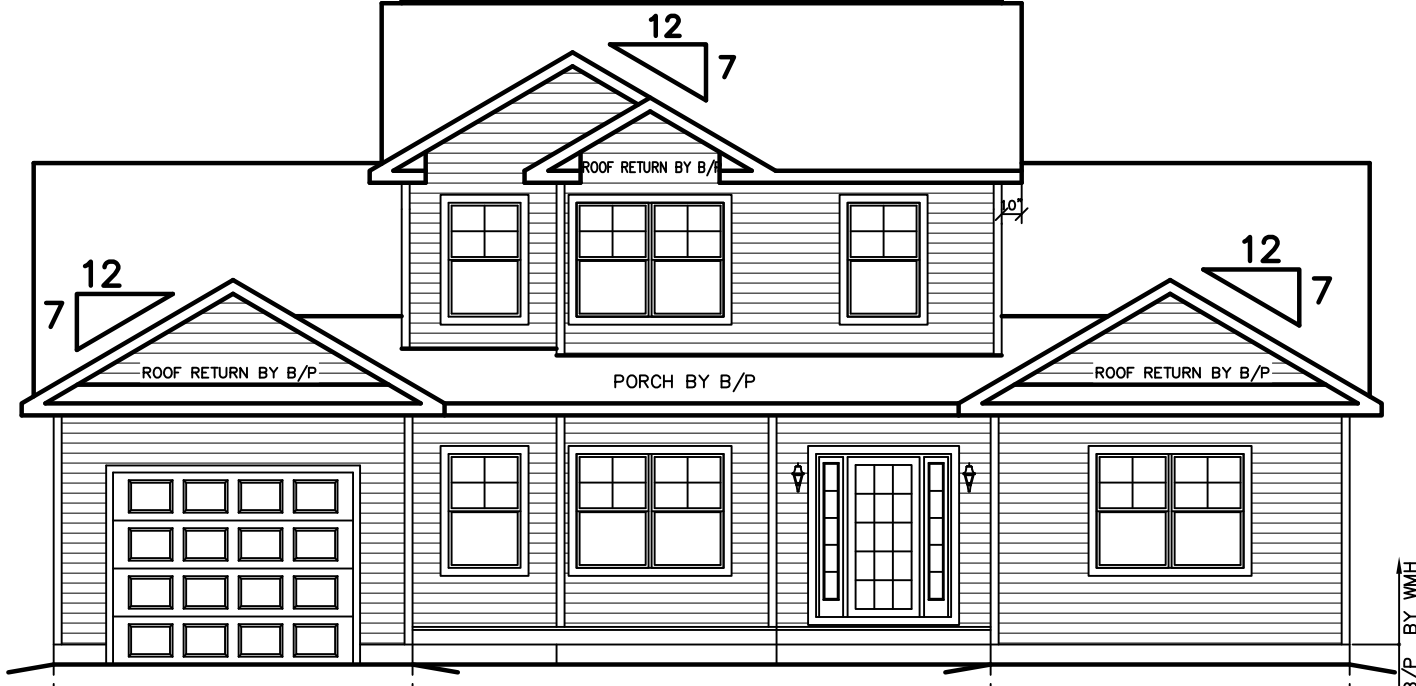
SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: R5		HOMEOWNER: DENGEL		SERIAL No. <b>21204</b>		THIRD PARTY INSPECTION AGENCY	
CONST. TYPE: VB		BUILDER: FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOHOKUS, NJ 07423		PRODUCTION No.		PE / RA	
DESIGNER: RC		SITE: 341 MARGUERITE ST. NEW MILFORD, NJ 07646		REVISION		DATE	
DATE: 10/12/21		NEW JERSEY 2 STORY COVER SHEET-HIGH WIND		CHECK		DATE	
SCALE: N/A		Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698		STD REVISION		DATE	
PAGE: 0						02/19/20	

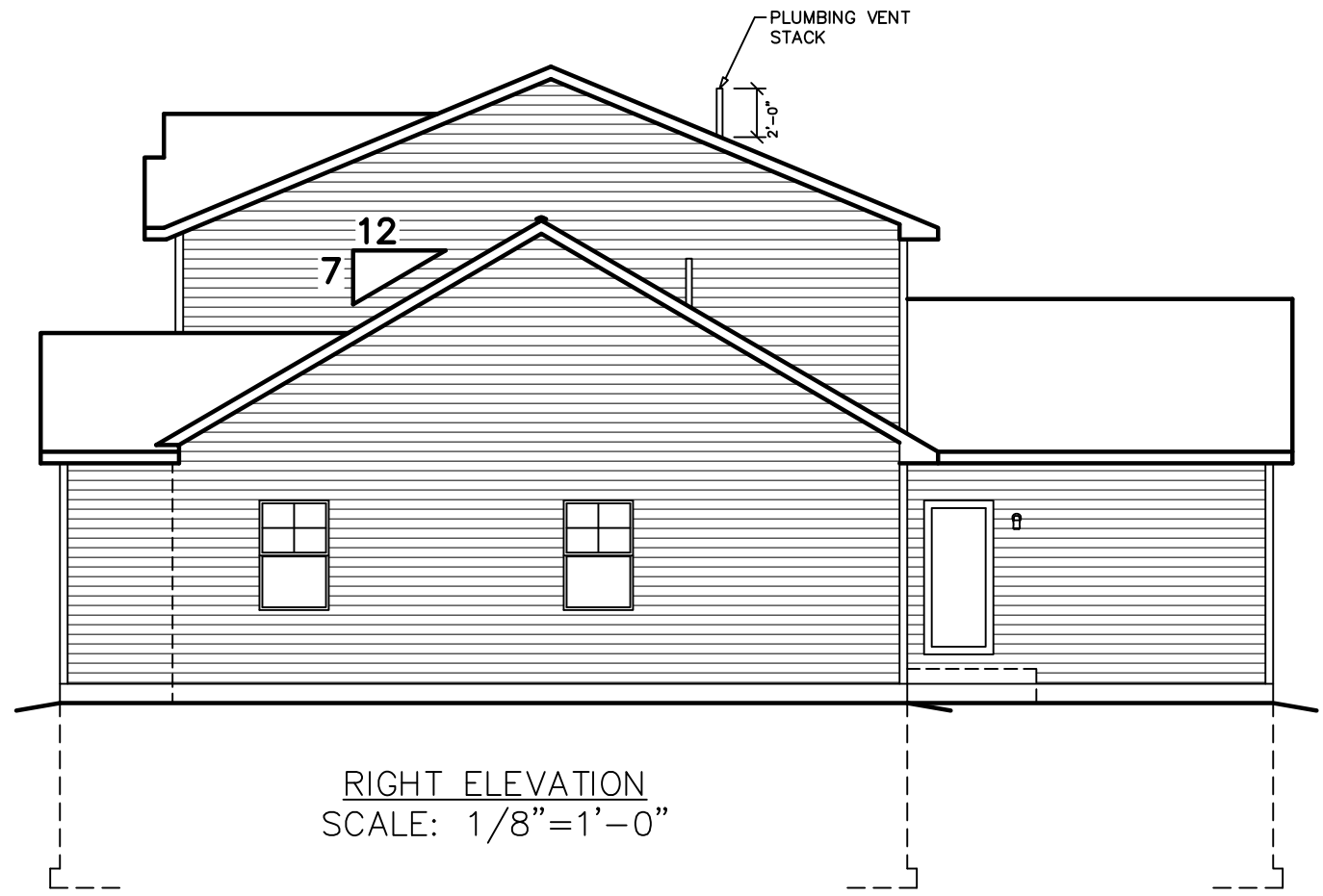


OVERHANG DIMENSION (*)			
ROOF PITCH	HOUSE WIDTH		
	24'-0"	26'-0"/30'-0"	27'-8"/31'-8"
5/12	16"	11"	16"
7/12	16"	11"	16"
9/12	12"	11"	12"
12/12	8 3/4"	8 3/4"	8 3/4"

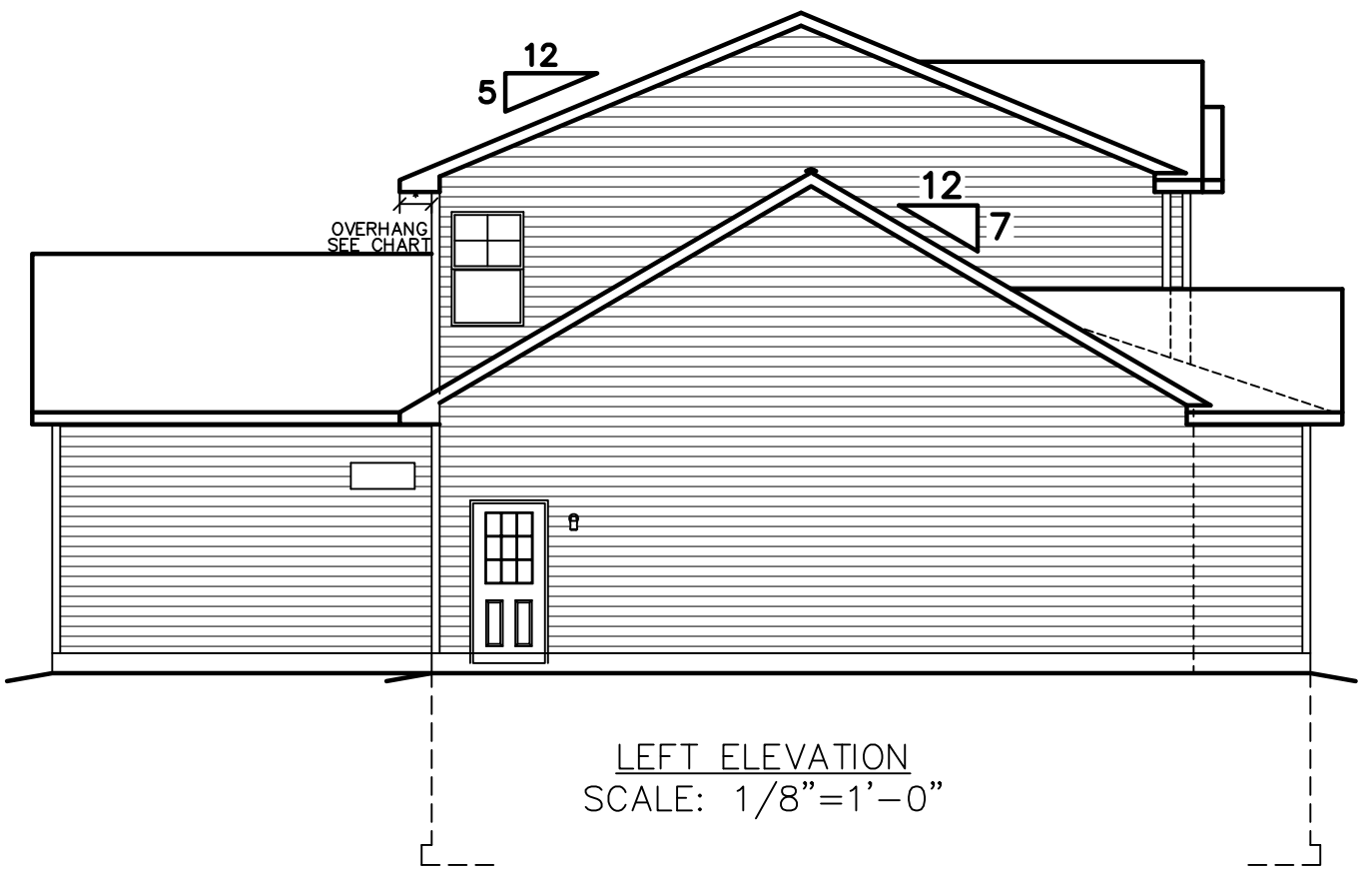
NOTES:  
-S/L ALL SIDING



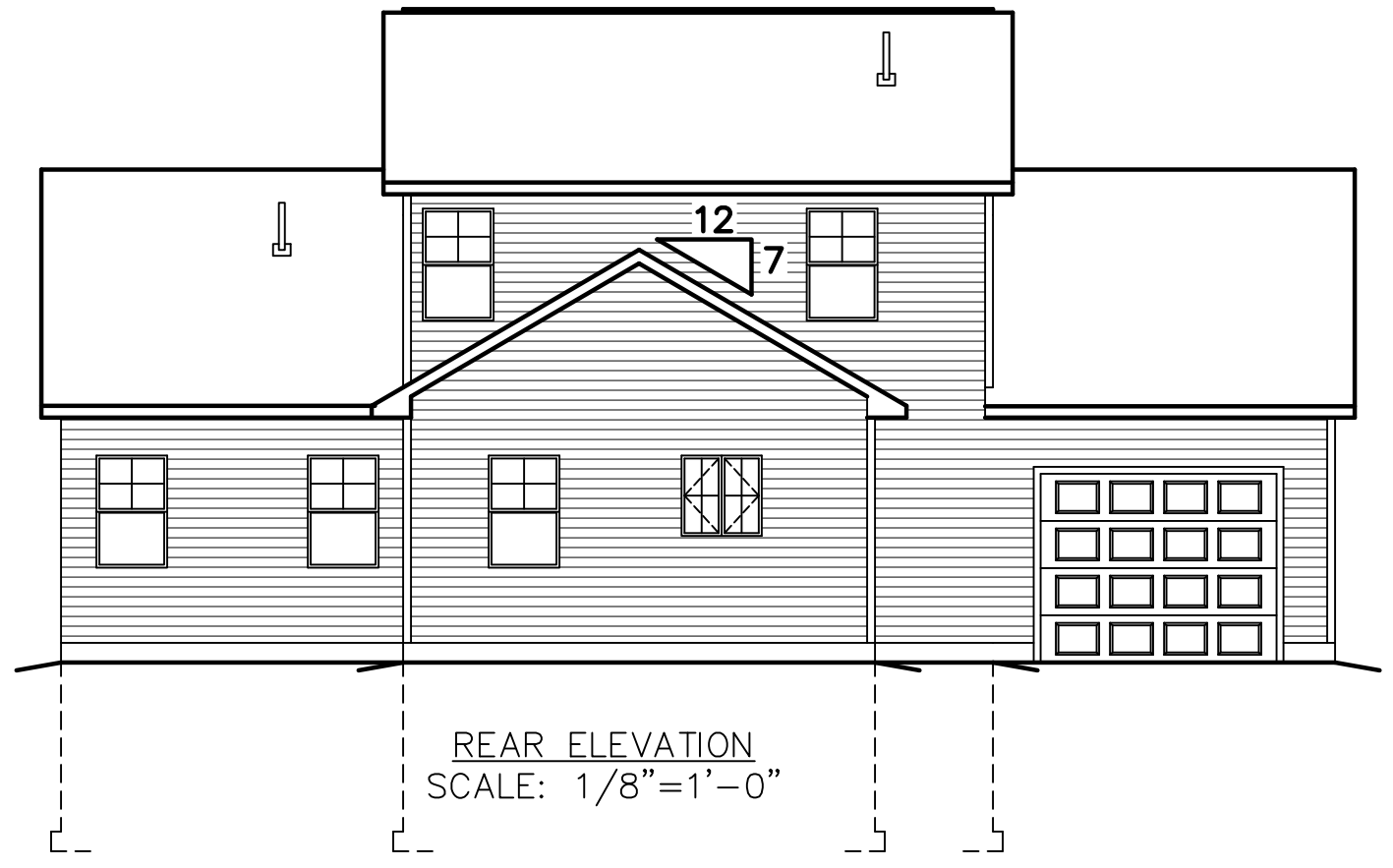
ALL EXT. STAIRS, STEPS, RAILS & GUARDS TO BE DESIGNED, SUPPLIED AND INSTALLED BY B/P  
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

THIRD PARTY INSPECTION AGENCY

PE / RA

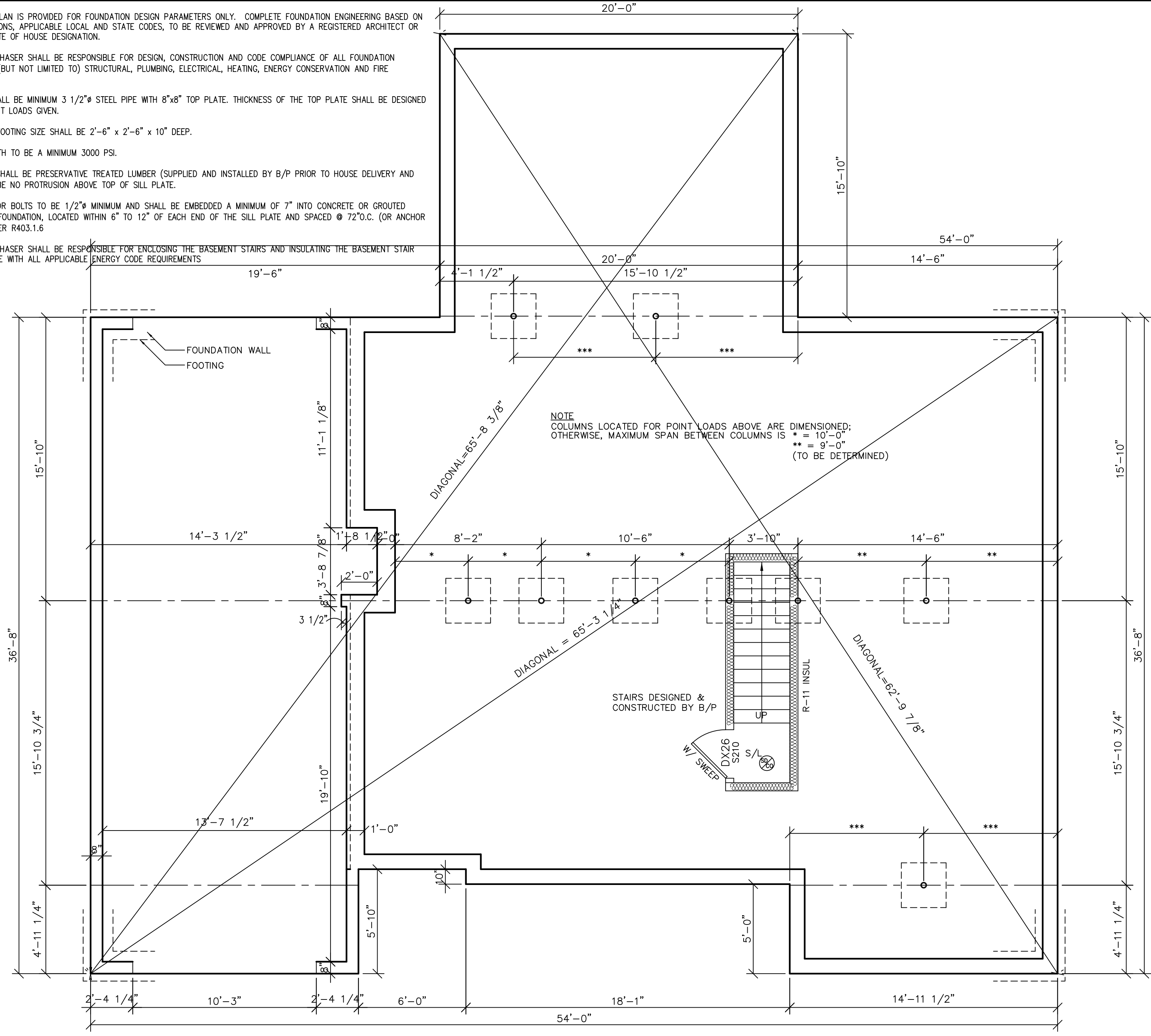


SERIAL No.	21204
PRODUCTION No.	
REVISION	DATE
CHECK	DATE
STD REVISION	01/10/15

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP:	R5	HOMEOWNER:	DENGEL
CONSTR. TYPE:	VB	BUILDER:	FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOHOKUS, NJ 07423
DESIGNER:	RC	SITE:	341 MARGUERITE ST. NEW MILFORD, NJ 07646
DATE:	10/13/21	<b>COLONIAL CTM-R ELEVATIONS</b>	
SCALE:	1/8" = 1'-0"	Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698	
PAGE:	1		

- FOUNDATION NOTES:**
- 1) THE FOUNDATION PLAN IS PROVIDED FOR FOUNDATION DESIGN PARAMETERS ONLY. COMPLETE FOUNDATION ENGINEERING BASED ON SPECIFIC SITE CONDITIONS, APPLICABLE LOCAL AND STATE CODES, TO BE REVIEWED AND APPROVED BY A REGISTERED ARCHITECT OR ENGINEER IN THE STATE OF HOUSE DESIGNATION.
  - 2) THE BUILDER/PURCHASER SHALL BE RESPONSIBLE FOR DESIGN, CONSTRUCTION AND CODE COMPLIANCE OF ALL FOUNDATION ELEMENTS INCLUDING (BUT NOT LIMITED TO) STRUCTURAL, PLUMBING, ELECTRICAL, HEATING, ENERGY CONSERVATION AND FIRE SEPARATION.
  - 3) LALLY COLUMN SHALL BE MINIMUM 3 1/2"Ø STEEL PIPE WITH 8"x8" TOP PLATE. THICKNESS OF THE TOP PLATE SHALL BE DESIGNED BY PE/RA TO SUPPORT LOADS GIVEN.
  - 4) MINIMUM COLUMN FOOTING SIZE SHALL BE 2'-6" x 2'-6" x 10" DEEP.
  - 5) CONCRETE STRENGTH TO BE A MINIMUM 3000 PSI.
  - 6) FOUNDATION SILL SHALL BE PRESERVATIVE TREATED LUMBER (SUPPLIED AND INSTALLED BY B/P PRIOR TO HOUSE DELIVERY AND SET). THERE SHALL BE NO PROTRUSION ABOVE TOP OF SILL PLATE.
  - 7) FOUNDATION ANCHOR BOLTS TO BE 1/2"Ø MINIMUM AND SHALL BE EMBEDDED A MINIMUM OF 7" INTO CONCRETE OR GROUTED CELLS OF CONCRETE FOUNDATION, LOCATED WITHIN 6" TO 12" OF EACH END OF THE SILL PLATE AND SPACED @ 72"O.C. (OR ANCHOR STRAP EQUIVALENT) PER R403.1.6
  - 8) THE BUILDER/PURCHASER SHALL BE RESPONSIBLE FOR ENCLOSING THE BASEMENT STAIRS AND INSULATING THE BASEMENT STAIR WALLS IN ACCORDANCE WITH ALL APPLICABLE ENERGY CODE REQUIREMENTS



SEE STANDARD NOTES & DETAILS DWG #8

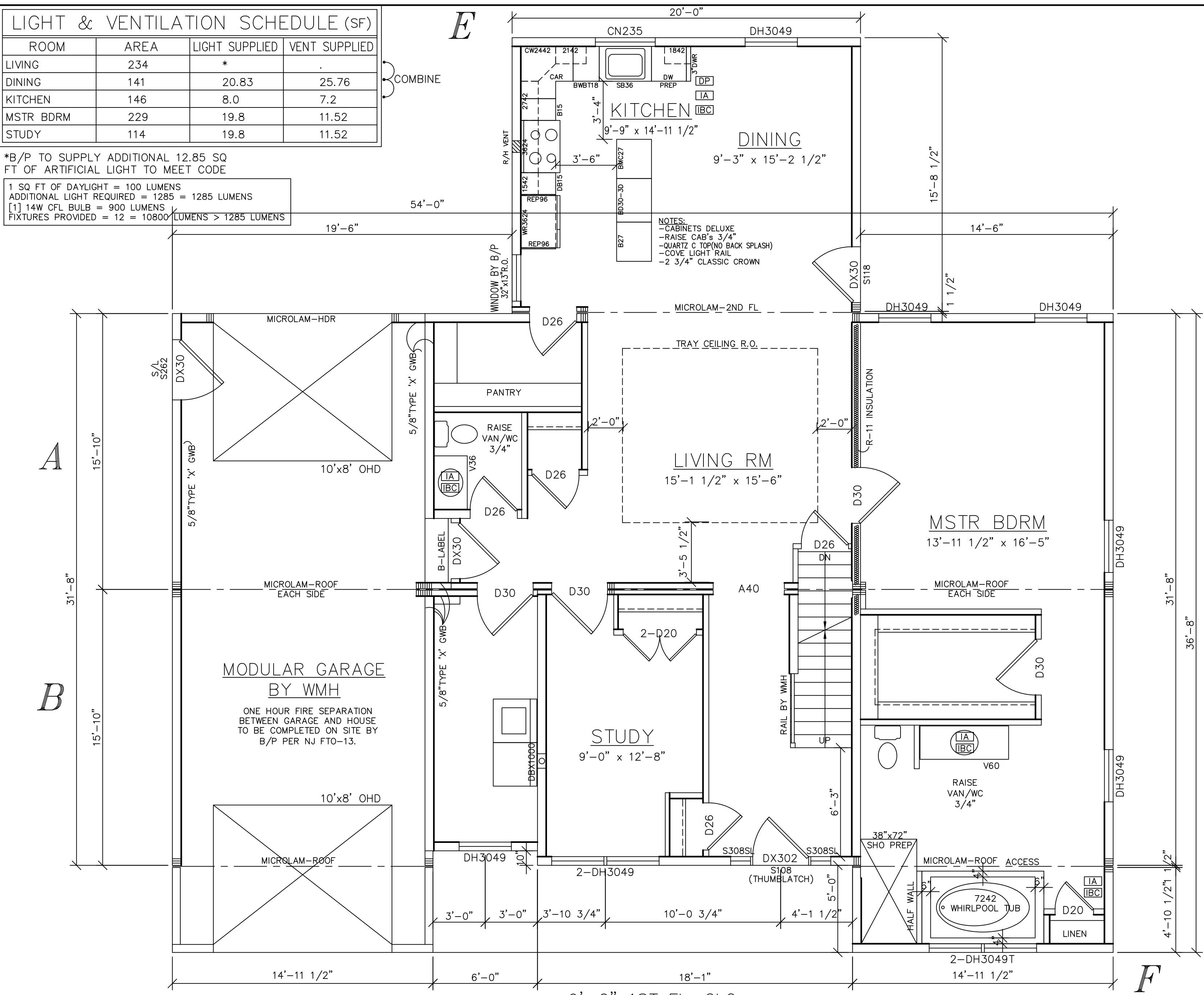
USE GROUP: <b>R5</b>		BUILDER: FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOHOKUS, NJ 07423		HOMEOWNER: DENGEL SITE: 341 MARGUERITE ST. NEW MILFORD, NJ 07646		SERIAL No. <b>21204</b>		THIRD PARTY INSPECTION AGENCY			
CONSTR. TYPE: <b>VB</b>		DESIGNER: <b>RC</b>		DATE: 10/12/21		PRODUCTION No.		PE / RA			
SCALE: 1/4" = 1'-0"		DATE: 10/12/21		SCALE: 1/4" = 1'-0"		REVISION		DATE			
PAGE: <b>2</b>		DATE: 10/12/21		SCALE: 1/4" = 1'-0"		CHECK		DATE			
<b>COLONIAL CTM-R</b> FOUNDATION PLAN				Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698							

**LIGHT & VENTILATION SCHEDULE (SF)**

ROOM	AREA	LIGHT SUPPLIED	VENT SUPPLIED
LIVING	234	*	.
DINING	141	20.83	25.76
KITCHEN	146	8.0	7.2
MSTR BDRM	229	19.8	11.52
STUDY	114	19.8	11.52

\*B/P TO SUPPLY ADDITIONAL 12.85 SQ FT OF ARTIFICIAL LIGHT TO MEET CODE

1 SQ FT OF DAYLIGHT = 100 LUMENS  
 ADDITIONAL LIGHT REQUIRED = 1285 = 1285 LUMENS  
 [1] 14W CFL BULB = 900 LUMENS  
 FIXTURES PROVIDED = 12 = 10800 LUMENS > 1285 LUMENS



**NOTE:**  
 ALL WINDOWS WITH A SILL HEIGHT LESS THAN 24" ABOVE FINISHED FLOOR AND WITH A EXT. HEIGHT OF GREATER THAN 6'-0" TO GRADE SHALL BE EQUIPPED WITH FALL PROTECTION SUPPLIED AND INSTALLED ON SITE BY B/P IN ACCORDANCE W/ R312.2

9'-0" 1ST FL. CLG.  
 -ZIP EXT. WALL SHEATHING-  
 -200 SERIES WINDOWS (4/1 GRILLES)-  
 -2 PANEL SQUARE SMOOTH SOLID INT DRS-  
 -UPGRADE TRIM (S/L BASE TRIM)-

**1637 S.F.**  
 1st. FLR.

SEE STANDARD NOTES & DETAILS DWG #8

**THIRD PARTY INSPECTION AGENCY**

PE / RA

SERIAL No.	<b>21204</b>
PRODUCTION No.	
REVISION	DATE
CHECK	DATE

**HOMEOWNER:**  
 DENDEL  
 341 MARGUERITE ST.  
 NEW MILFORD, NJ 07646

**BUILDER:**  
 FOUR 7 CONSTRUCTION  
 215 BROOKSIDE AVE.  
 HOBOKUS, NJ 07423

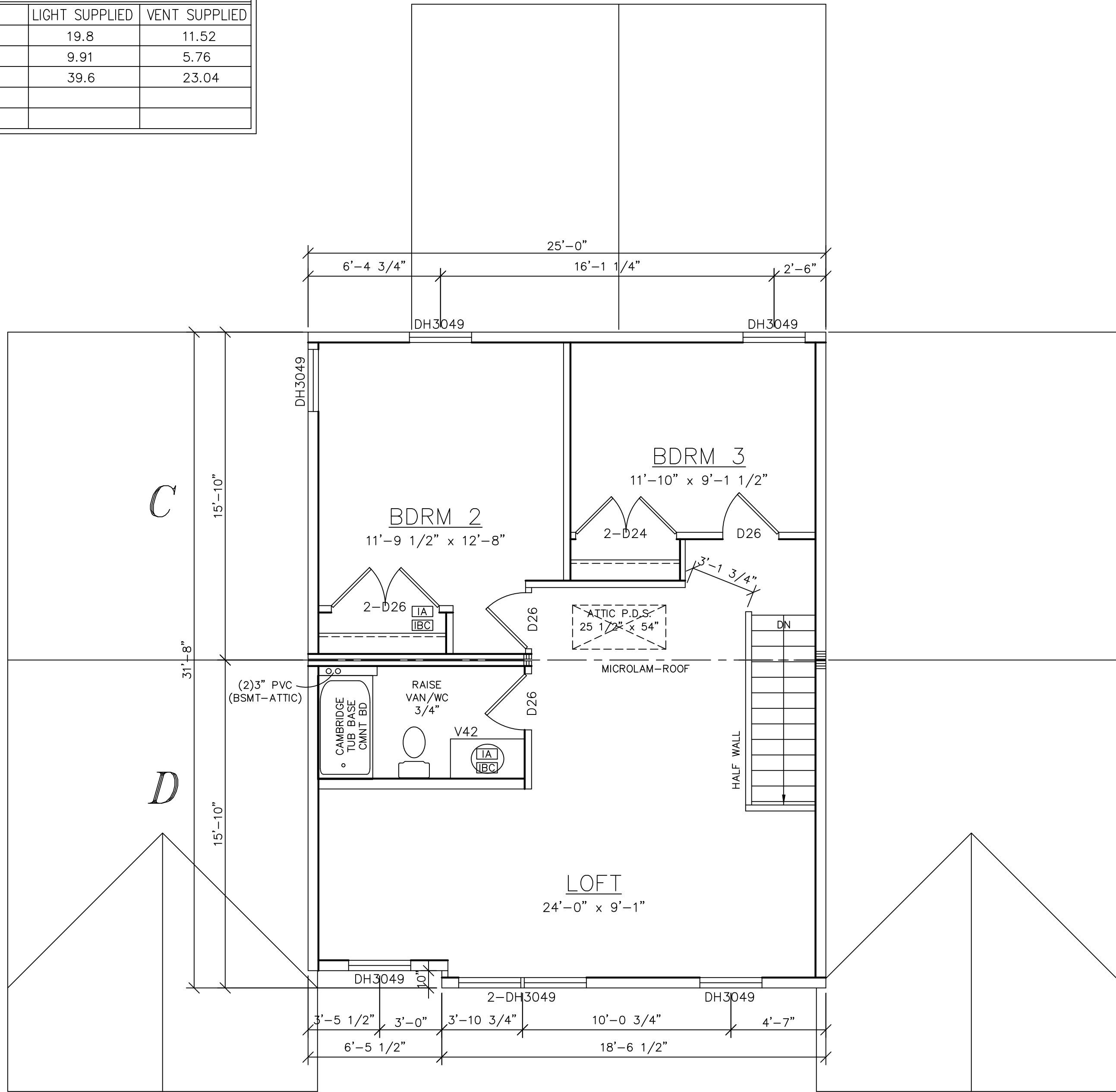
**COLONIAL CTM-R**  
**FIRST FLOOR PLAN**

**Westchester Modular Homes Inc**  
 30 Reagans Mill Road, Wingdale, New York, 12594  
 Tel (845)832-9400 Fax (845)832-6698

**USE GROUP:** R5  
**CONST. TYPE:** VB  
**DESIGNER:** RC  
**DATE:** 10/12/21  
**SCALE:** 1/4" = 1'-0"  
**PAGE:** 3A

LIGHT & VENTILATION SCHEDULE (SF)

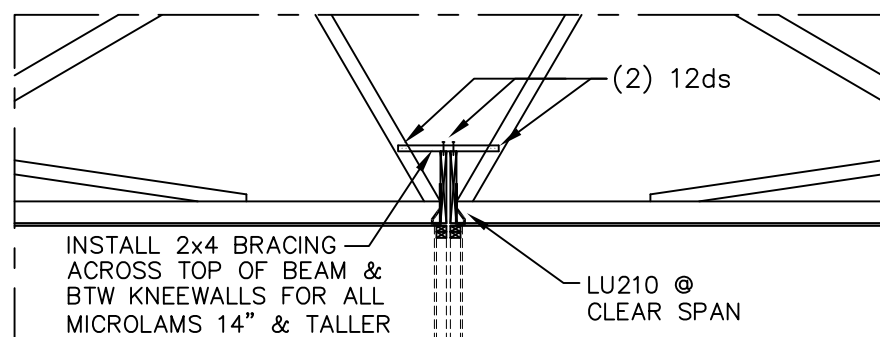
ROOM	AREA	LIGHT SUPPLIED	VENT SUPPLIED
BDRM 2	149	19.8	11.52
BDRM 3	108	9.91	5.76
LOFT	218	39.6	23.04



**786 S.F.**  
2nd. FLR.

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: <b>R5</b>	BUILDER: FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOBOKUS, NJ 07423	HOMEOWNER: DENDEL SITE: 341 MARGUERITE ST. NEW MILFORD, NJ 07646	SERIAL No. <b>21204</b>	PE / RA	THIRD PARTY INSPECTION AGENCY
SCALE: 1/4" = 1'-0"	DATE: 10/12/21	REVISION	CHECK	DATE	DATE
PAGE: <b>3B</b>	COLONIAL CTM-R SECOND FLOOR PLAN	Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698			



ROOF CLEAR SPAN DETAIL

2x6 BLOCK BETWEEN EVERY OTHER TRUSS w/ (3) 12d FACE-NAILS AND (3) 12d END-NAILS AT EACH END OF BLOCK

5/8" COMPRESSION STRIP

(3) 12d FACE-NAILS = (3)(82#) = 246# (WITHDRAWAL)  
 (3) 12d END-NAILS = (3)(128#) = 384# (SHEAR)  
 [BOTH GREATER THAN 175# MINIMUM.]

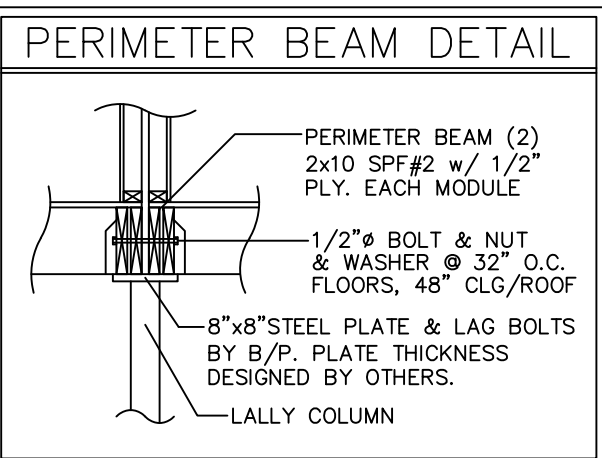
R-13.1 RIGID FOAM INSULATION IN FLOOR PERIMETER

R-21 BATT INSULATION IN CEILING PERIMETER

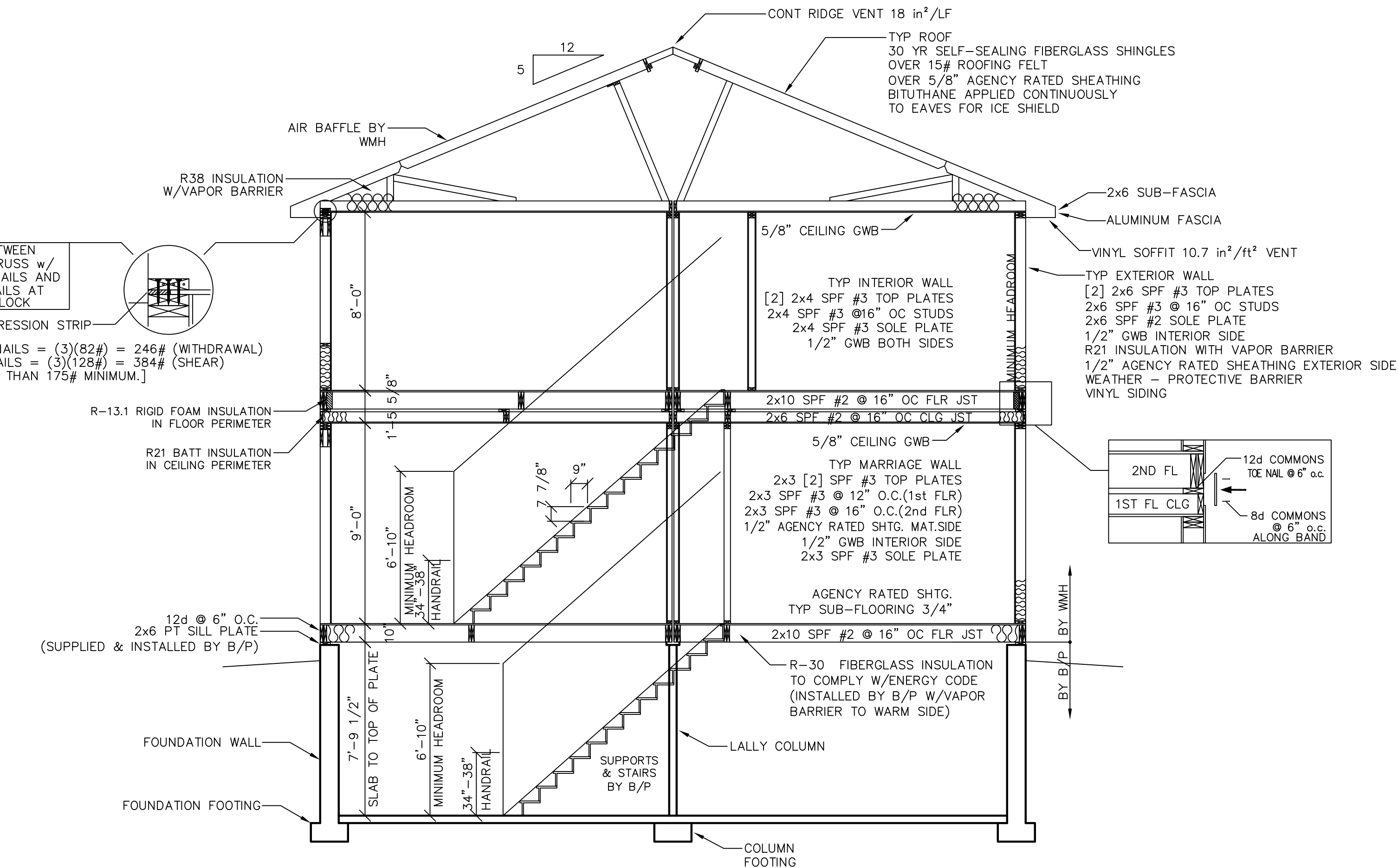
12d @ 6" O.C.  
 2x6 PT SILL PLATE  
 (SUPPLIED & INSTALLED BY B/P)

FOUNDATION WALL

FOUNDATION FOOTING



PERIMETER BEAM DETAIL



CONT RIDGE VENT 18 in<sup>2</sup>/LF

TYP ROOF  
 30 YR SELF-SEALING FIBERGLASS SHINGLES  
 OVER 15# ROOFING FELT  
 OVER 5/8" AGENCY RATED SHEATHING  
 BITUTHANE APPLIED CONTINUOUSLY  
 TO EAVES FOR ICE SHIELD

AIR BAFFLE BY WMH

R38 INSULATION W/VAPOR BARRIER

2x6 SUB-FASCIA  
 ALUMINUM FASCIA

VINYL SOFFIT 10.7 in<sup>2</sup>/ft<sup>2</sup> VENT

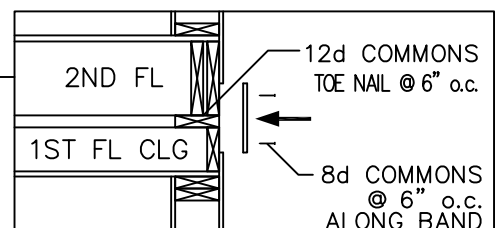
TYP INTERIOR WALL  
 [2] 2x4 SPF #3 TOP PLATES  
 2x4 SPF #3 @16" OC STUDS  
 2x4 SPF #3 SOLE PLATE  
 1/2" GWB BOTH SIDES

TYP EXTERIOR WALL

[2] 2x6 SPF #3 TOP PLATES  
 2x6 SPF #3 @ 16" OC STUDS  
 2x6 SPF #2 SOLE PLATE  
 1/2" GWB INTERIOR SIDE  
 R21 INSULATION WITH VAPOR BARRIER  
 1/2" AGENCY RATED SHEATHING EXTERIOR SIDE  
 WEATHER - PROTECTIVE BARRIER  
 VINYL SIDING

2x10 SPF #2 @ 16" OC FLR JST  
 2x6 SPF #2 @ 16" OC CLG JST

TYP MARRIAGE WALL  
 2x3 [2] SPF #3 TOP PLATES  
 2x3 SPF #3 @ 12" O.C.(1st FLR)  
 2x3 SPF #3 @ 16" O.C.(2nd FLR)  
 1/2" AGENCY RATED SHTG. MAT.SIDE  
 1/2" GWB INTERIOR SIDE  
 2x3 SPF #3 SOLE PLATE



AGENCY RATED SHTG.  
 TYP SUB-FLOORING 3/4"

R-30 FIBERGLASS INSULATION TO COMPLY W/ENERGY CODE (INSTALLED BY B/P W/VAPOR BARRIER TO WARM SIDE)

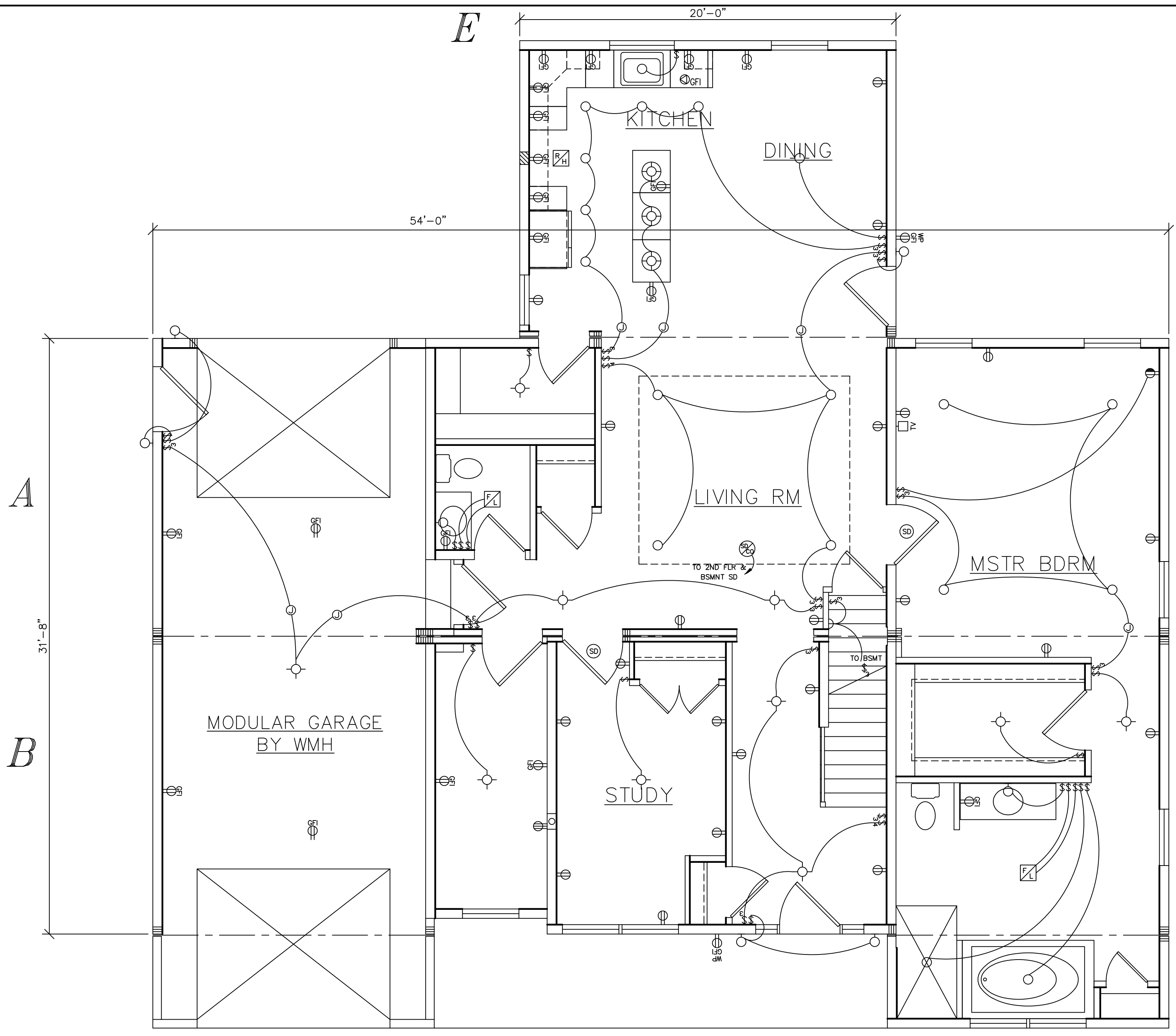
LALLY COLUMN

COLUMN FOOTING

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: <b>R5</b>		HOMEOWNER: DENGEL	THIRD PARTY INSPECTION AGENCY	
CONSTR. TYPE: <b>VB</b>	BUILDER: FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOBOKUS, NJ 07423	SITE: 341 MARGUERITE ST. NEW MILFORD, NJ 07646	PE / RA	
DESIGNER: <b>RC</b>	<p><b>COLONIAL CTM-R</b> <b>CROSS SECTION</b></p> <p>Westchester Modular Homes Inc        30 Reagans Mill Road, Wingdale, New York, 12594        Tel (845)832-9400 Fax (845)832-6698</p>			
DATE: 10/12/21	DATE:	DATE:	DATE:	DATE:
SCALE: 1/4" = 1'-0"	REVISION	CHECK	CHECK	CHECK
PAGE: <b>4</b>	SERIAL No. <b>21204</b>	PRODUCTION No.	RS	03/03/2021





2017 N.E.C.

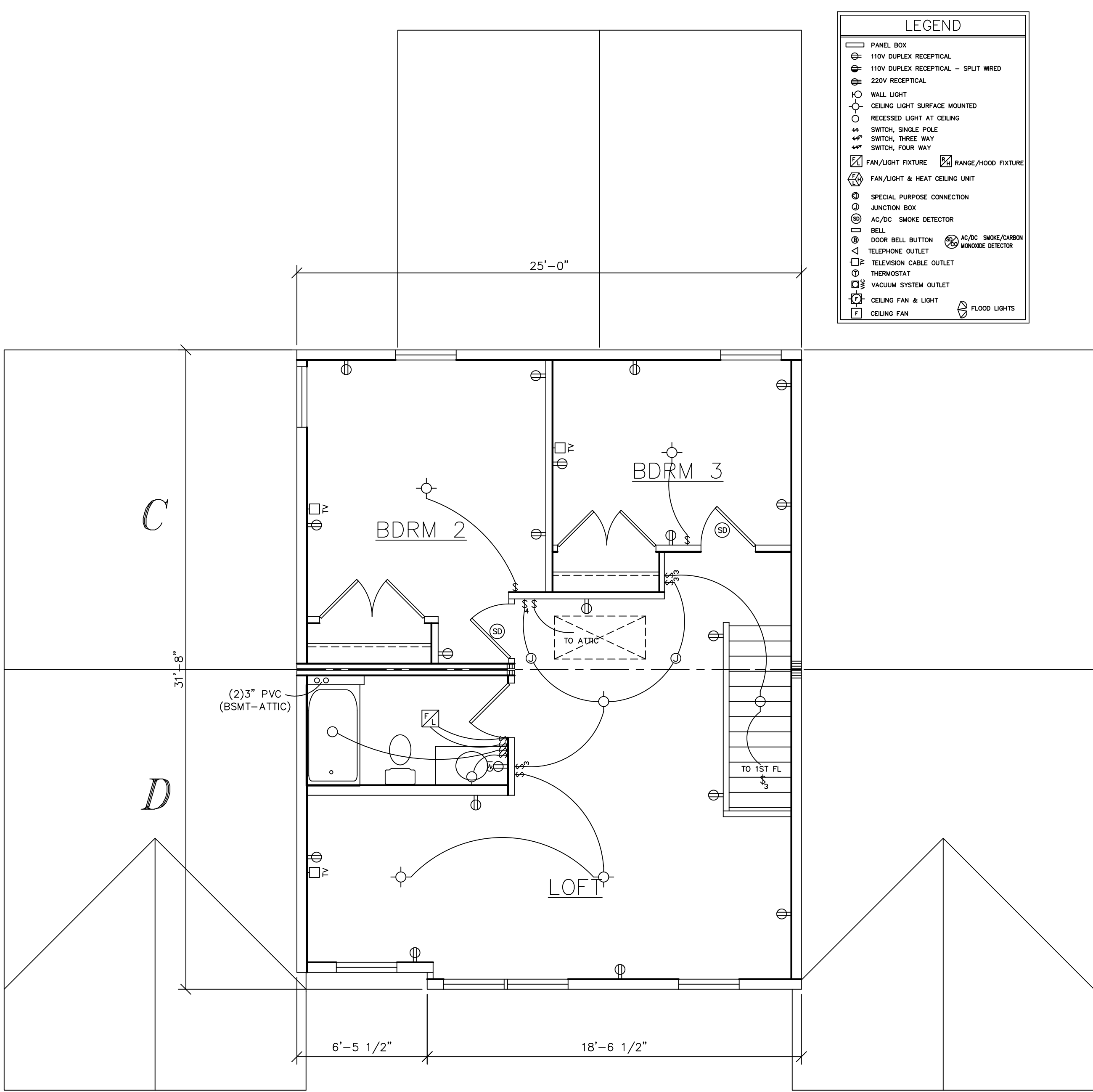
9'-0" 1ST FL. CLG.

\* SEE PAGE 6B FOR CIRCUIT DIRECTORY \*

- \* ALL SMOKE DETECTORS TO BE PHOTOELECTRIC \*
- \* ALL OUTLETS TO BE TAMPER RESISTANT \*
- \* ALL LIGHT FIXTURE BOXES TO BE HEAVY DUTY [50# MIN.] \*
- \* ALL EXT. GFI RECEPTACLES TO BE UV RATED \*
- \* FOAM GASKETS ON ALL EXT. WALLS \*

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: <b>R5</b>		BUILDER: FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOBOKUS, NJ 07423		HOMEOWNER: DENGEL SITE: 341 MARGUERITE ST. NEW MILFORD, NJ 07646		SERIAL No. <b>21204</b>		PE / RA		THIRD PARTY INSPECTION AGENCY	
CONSTR. TYPE: <b>VB</b>		DESIGNER: <b>RC</b>		DATE: 10/12/21		REVISION		DATE			
SCALE: 1/4" = 1'-0"		PAGE: <b>6A</b>		COLONIAL CTM-R 1st.FL ELECTRICAL PLAN		CHECK		DATE			
				Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698							



LEGEND	
	PANEL BOX
	110V DUPLEX RECEPTICAL
	110V DUPLEX RECEPTICAL - SPLIT WIRED
	220V RECEPTICAL
	WALL LIGHT
	CEILING LIGHT SURFACE MOUNTED
	RECESSED LIGHT AT CEILING
	SWITCH, SINGLE POLE
	SWITCH, THREE WAY
	SWITCH, FOUR WAY
	FAN/LIGHT FIXTURE
	RANGE/HOOD FIXTURE
	FAN/LIGHT & HEAT CEILING UNIT
	SPECIAL PURPOSE CONNECTION
	JUNCTION BOX
	AC/DC SMOKE DETECTOR
	BELL
	DOOR BELL BUTTON
	TELEPHONE OUTLET
	TELEVISION CABLE OUTLET
	THERMOSTAT
	VACUUM SYSTEM OUTLET
	CEILING FAN & LIGHT
	CEILING FAN
	FLOOD LIGHTS

SEE STANDARD NOTES & DETAILS DWG #8

THIRD PARTY INSPECTION AGENCY			
PE / RA	21204		
SERIAL No.	21204	REVISION	DATE
PRODUCTION No.		CHECK	DATE
BUILDER:	FOUR 7 CONSTRUCTION 215 BROOKSIDE AVE. HOHOKUS, NJ 07423	HOMEOWNER:	DENGEL 341 MARGUERITE ST. NEW MILFORD, NJ 07646
USE GROUP:	R5	<b>COLONIAL CTM-R</b> <b>2nd.FL ELECTRICAL PLAN</b>	
CONSTR. TYPE:	VB		
DESIGNER:	RC	Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698	
DATE:	10/12/21		
SCALE:	1/4" = 1'-0"		
PAGE:	6B		

2017 N.E.C.

- \* ALL SMOKE DETECTORS TO BE PHOTOELECTRIC \*
- \* ALL OUTLETS TO BE TAMPER RESISTANT \*
- \* ALL LIGHT FIXTURE BOXES TO BE HEAVY DUTY [50# MIN.] \*
- \* ALL EXT. GFI RECEPTACLES TO BE UV RATED \*
- \* FOAM GASKETS ON ALL EXT. WALLS \*

ANDERSEN WINDOW SCHEDULE

WINDOW	SERIES/STYLE	GLASS(SF)	VENT(SF)	U"VALUE	SHGC	ROUGH OPENING	UNIT AREA(SF)
◇ DH3049	200 DOUBLE HUNG	9.9	5.76	0.30	0.32	3'-0" x 4'-9"	13.93
CN235	400 CASEMENT	8.0	7.20	0.30	0.31	3'-5 1/4" x 3'-5 3/8"	11.5

◇ = THESE UNITS MEET OR EXCEED A CLEAR OPENABLE AREA OF 5.7 SQ. FT., WIDTH OF 20", & HEIGHT OF 24". WINDOWS FOLLOWED BY 'T' IN FLOOR PLANS ARE TEMPERED

EXTERIOR DOOR SCHEDULE

THERMATRU DOORS							
DOOR	TYPE	SIZE	GLASS(SF)	VENT(SF)	U"VALUE	MATERIAL	REMARKS
DX302 (S308SL)	SIDLIGHTS	5'-9" x 6'-8"	2.60	N/A	0.27	FIBERGLASS	SEE BELOW
DX30(S108)	HINGED	1'-2" x 6'-8"	N/A	20	0.37	FIBERGLASS	3-LITE
DX30(S118)	HINGED	3'-0" x 6'-8"	10.92	20	0.37	FIBERGLASS	6-PANEL
DX26(S210)	HINGED	2'-6" x 6'-8"	N/A	20	0.16	FIBERGLASS	FULL GLASS DOOR
DX30(B-LABEL)	HINGED	3'-0" x 6'-8"	N/A	N/A	0.16	METAL	BSMT DOOR FIRE RATED

ANDERSEN DOORS

DOOR	TYPE	SIZE	GLASS(SF)	VENT(SF)	U"VALUE	MATERIAL

- ALL THERMATRU DOORS HAVE LEVERS W/ KEY SET UNLESS OTHERWISE NOTED ON PLANS.  
- ALL GLASS IN DOORS TO BE TEMPERED

FLOOR PLAN NOTES

- 1) THE BUILDER/PURCHASER IS NOTED AS B/P.
- 2) SEE FLOOR PLANS FOR LABEL LOCATIONS, ABBREVIATIONS ARE AS FOLLOWS:  
 STATE LABELS      INDUSTRIALIZED BUILDINGS COMMISSION  
 THIRD PARTY INSPECTION AGENCY      WARRANTY LABEL  
 DATA PLATE      CONNECTICUT LABEL/THIRD PARTY INSPECTION AGENCY
- 3) MAXIMUM HEIGHT OF EGRESS WINDOW SILLS IS 3'-6" ABOVE FINISHED FLOOR.
- 4) REFER TO ORDER SELECTION FORM FOR SPECIFIC APPLIANCES SUPPLIED WITH THIS HOUSE.
- 5) BATH ROOM FANS ARE RATED AT 70 CFM UNLESS OTHERWISE NOTED ON PLANS.
- 6) ATTIC ACCESS(ES) ON CAPE MODELS ARE TO BE DONE ON SITE BY THE B/P.

- 7) ALL AREAS TO BE FINISHED OR BUILT BY B/P ON SITE TO BE IN COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) GARAGE, ADDITIONS, PORCHES & FIRE SEPARATIONS. TO BE INSPECTED AND APPROVED BY LOCAL BUILDING OFFICIALS
- 8) ALL INTERIOR AND EXTERIOR HANDRAILS OR GUARDRAILS ARE INSTALLED BY B/P HAVING SPINDLES SPACED 4" APART. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT.
- 9) ALL FACTORY INSTALLED/SUPPLIED FIREPLACES ARE TO BE COMPLETED ON SITE BY B/P, INCLUDING FLUE PIPES AND FIRE STOPS. NOTE: NO COMBUSTION AIR TO BE DRAWN FROM BEDROOMS.

SUPPLY NOTES

- 1) MATERIALS ARE TYPE A PEX.
- 2) WATER SUPPLY SHALL BE SECURELY ATTACHED TO THE BUILDING AT NOT GREATER DISTANCES BETWEEN SUPPORT INTERVALS THAN SPECIFIED:  
 HORIZONTAL PIPE @ 32"  
 VERTICAL PIPE AT MID-STORY (10' MAX)
- 3) WATER HEATER SHALL BE SUPPLIED AND INSTALLED BY B/P.
- 4) ALL SUPPLY LINES ARE STUBBED THROUGH THE FIRST FLOOR. SUPPLY LINES BELOW FIRST FLOOR SUPPLIED AND INSTALLED BY B/P.
- 5) ALL HOT WATER LINES IN UNHEATED SPACES SHALL BE INSULATED BY B/P.
- 6) ALL TUBS AND/OR SHOWERS SHALL BE SUPPLIED WITH ANTI-SCALD VALVES.]
- 7) ALL DEVICES INSTALLED WITH SELF CLOSING VALVES (I.E. WASHER, DISHWASHER) SHALL HAVE A WATER HAMMER ARRESTING DEVICE ON THE SUPPLY LINE SUPPLIED AND INSTALLED BY B/P ON SITE, IN ACCORDANCE WITH ALL STATE AND LOCAL APPLICABLE CODES.
- 8) ALL FIXTURE SUPPLY LINES 1/2"ø SHALL HAVE INDIVIDUAL SHUT OFF VALVES.

DWV NOTES

- 1) MATERIALS ARE PVC SCHEDULE 40.
- 2) DRAINAGE AND VENT PIPING SHALL BE SECURELY ATTACHED TO THE BUILDING AT NO GREATER SUPPORT INTERVALS THAN SPECIFIED.  
 HORIZONTAL PIPE @ 4'-0" FOR 2"ø OR LARGER  
 HORIZONTAL PIPE @ 3'-0" FOR 1 1/2"ø OR SMALLER  
 VERTICAL PIPE @ 4'-0"
- 3) ALL DRAINAGE CONNECTIONS HORIZONTAL TO HORIZONTAL AND VERTICAL TO HORIZONTAL ARE LONG SWEEP OR DOUBLE 45° FITTINGS
- 4) HORIZONTAL VENT PIPE CONNECTIONS TO VERTICAL VENT BRANCH OR STACK SHALL OCCUR AT LEAST 6" ABOVE THE FLOOR RIM OF THE HIGHEST FIXTURE SERVED BY THE HORIZONTAL VENT.
- 5) STAND PIPES SHALL EXTEND NOT LESS THAN 18 INCHES AND NOT GREATER THAN 42 INCHES ABOVE THE TRAP WEIR.

ELECTRICAL NOTES

- 1) ELECTRICAL PANEL IS RATED 200 AMPS (UNLESS OTHERWISE NOTED) AND LOCATED PER PLAN.
- 2) NON-METALLIC SHEATHED CABLE IS TYPE NM-B.
- 3) WIRES ARE INSTALLED WITH INSULATED STAPLES.
- 4) ELECTRIC SERVICE SHALL BE GROUNDED BY B/P IN COMPLIANCE WITH NEC, STATE AND LOCAL CODES.
- 5) ALL ELECTRICAL COMPONENTS SHALL BE LISTED AND/OR LABELED BY A NATIONALLY RECOGNIZED TESTING LAB AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND LOCATIONS/USE INSTRUCTIONS.
- 6) ELECTRIC PANEL SHALL BE LOCATED AND MOUNTED IN BASEMENT BY B/P, UNLESS NOTED OTHERWISE.
- 7) A SERVICE DISCONNECT SHALL BE INSTALLED AT A READILY ACCESSIBLE LOCATION NEAREST THE POINT OF ENTRANCE OF THE SERVICE CONDUCTORS.
- 8) TELEPHONE, AND TELEVISION CABLES TO BE RUN TO THE ELECTRIC PANEL LOCATION. UNLESS OTHERWISE REQUESTED/NOTED

- 9) WIRELESS DOOR BELL TO BE SHIPPED LOOSE (INCLUDES 2 BUTTONS)
- 10) ONE GFI CIRCUIT SHALL BE INSTALLED IN BASEMENT BY B/P
- 11) WATER HEATER, FURNACE, BASEMENT GFI, BASEMENT LIGHTS, ETC. ARE THE SITE RESPONSIBILITY OF THE B/P.
- 12) A CLOTHES WASHER CIRCUIT SHALL BE INSTALLED IN BASEMENT BY B/P IF WASHER LOCATION IS NOT INCORPORATED IN HOUSE.
- 13) RECEPTACLES SHALL NOT BE INSTALLED DIRECTLY OVER ELECTRIC BASEBOARD HEATERS.
- 14) CIRCUIT BREAKERS FOR ELECTRIC BASEBOARD HEATERS ARE ONLY INSTALLED IN PANELS OF HOUSES WITH ELECTRIC BASEBOARD SYSTEMS.
- 15) SMOKE DETECTORS ARE INTERCONNECTED AND INSTALLED ON A LIGHTING CIRCUIT WITH NO INTERVENING SWITCHES ON THAT CIRCUIT.
- 16) SMOKE DETECTORS SHALL HAVE A BATTERY BACK-UP POWER SOURCE.
- 17) BASEMENT SMOKE DETECTORS ARE SUPPLIED BY WMH AND INSTALLED BY B/P ON SITE.
- 18) ALL RECESSED LIGHTS SHALL BE IC RATED AND ALSO RATED FOR WET LOCATIONS.

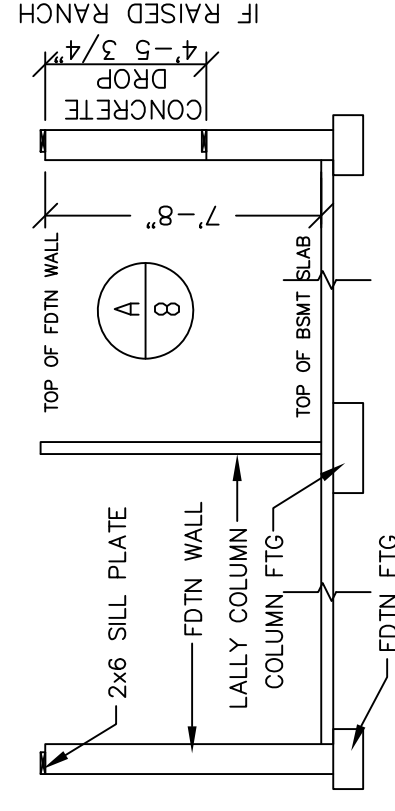
FHW (FORCED HOT WATER) BASEBOARD HEATING NOTES

- 1) BASEBOARD RATINGS ARE BASED ON 190°F WATER TEMPERATURE AT 1 GPM FLOW RATE WITH 65° ENTERING AIR.
- 2) FIRST FLOOR BASEBOARD UNITS ARE INSTALLED WITH HEATING PIPES STUBBED THRU FLOOR. SECOND FLOOR HEATING PIPES BETWEEN BASEBOARD UNITS ARE INSTALLED IN FLOOR AND/OR WALL PANELS. B/P IS RESPONSIBLE FOR INTERCONNECTION BETWEEN MODULES AND FLOORS. BALANCE OF HEATING SYSTEM IS TO BE DESIGNED, SUPPLIED AND INSTALLED BY B/P.
- 3) ALL HEATING PIPES IN UNHEATED SPACES SHALL BE INSULATED BY B/P.
- 4) MINIMUM THERMOSTAT RANGE IS 45° TO 75°F.
- 5) ACCESS PANELS ARE FOR THE B/P TO USE IN THE INTERCONNECTION OF THE HEATING SYSTEM. THESE PANELS MAY BE PERMANENTLY ATTACHED AND FINISHED OVER BY B/P AFTER HEATING SYSTEM IS COMPLETED.

EBB (ELECTRICAL BASEBOARD) HEATING NOTES

- 1) ELECTRIC BASEBOARD HEATING CIRCUITS ARE 20 AMP, 220 VOLTS WITH 12-2 NON-METALLIC SHEATHED CABLE TYPE NM-B.
- 2) MAXIMUM WATTAGE PER CIRCUIT SHALL BE 3750 WATTS
- 3) BASEBOARDS ARE RATED AT 250 WATTS PER LINEAR FOOT.
- 4) MINIMUM THERMOSTAT RANGE IS 45° TO 75°F.
- 5) GENERAL LIGHTING RECEPTACLES SHALL NOT BE LOCATED ABOVE ELECTRIC BASEBOARD HEATING UNITS.

TYPICAL B/P FOUNDATION DETAIL



USE GROUP: R5

CONSTR. TYPE: VB  
 DESIGNER: RC  
 DATE: 10/12/21  
 SCALE: N/A  
 PAGE: 8

BUILDER: FOUR 7 CONSTRUCTION  
 215 BROOKSIDE AVE.  
 HOHOKUS, NJ 07423

HOMEOOWNER: DENGEL  
 SITE: 341 MARGUERITE ST.  
 NEW MILFORD, NJ 07646

STANDARD NOTES, SCHEDULES & DETAILS

Westchester Modular Homes Inc  
 30 Reagans Mill Road, Wingdale, New York, 12594  
 Tel (914)832-9400 Fax (914)832-6698

SERIAL No. 21204  
 PRODUCTION No.

PE / RA

THIRD PARTY INSPECTION AGENCY

