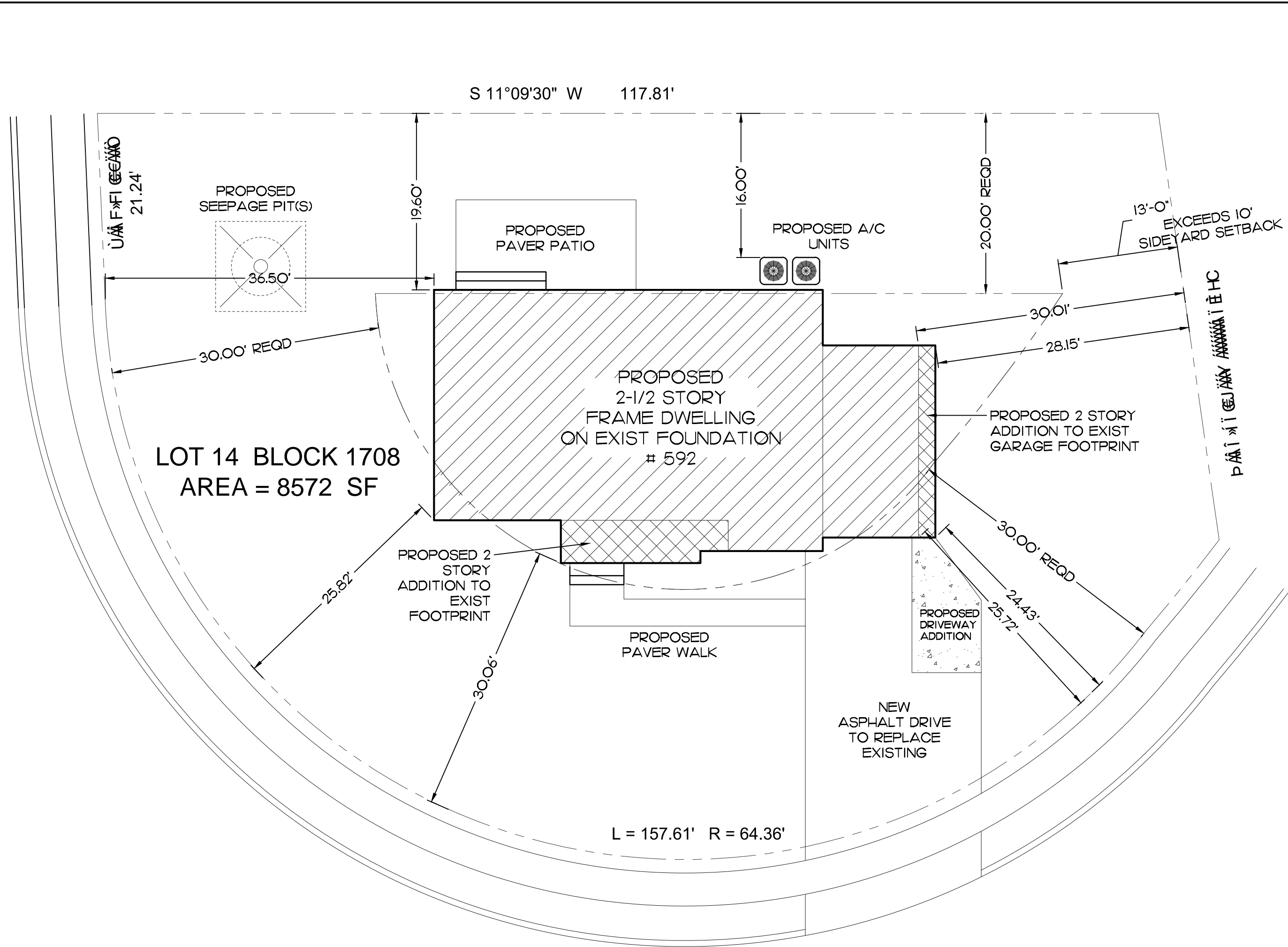


PROPOSED CELLAR PLAN  
1/4" = 1'-0"



SITE PLAN  
1" = 10'-0"

FERMERY DRIVE  
50' R.O.W.

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM  
A PROPERTY SURVEY FURNISHED TO THE ARCHITECT  
BY THE OWNER: ALL COUNTY SURVEYING, PC, WAYNE, NJ  
GEORGE W/ LATUS, P.L.S. LIC. NO. 33106 DATED JUNE 17, 2021

RESIDENCE PROPERTY ZONING ANALYSIS				
NEW MILFORD ZONE: R-A, RESIDENTIAL 1 FAMILY		LOT: 14 BLOCK: 1708	LOT AREA: 8572 SF	
ZONING	REQUIRED	EXISTING	PROPOSED	STATUS
MIN. LOT AREA	7,500 SF	8572 SF	NO CHANGE	CONFORMS
LOT WIDTH	75.0	117.81	NO CHANGE	CONFORMS
LOT DEPTH	NA	82.97 (MAX)	NO CHANGE	CONFORMS
FRONT YARD SETBACK	55.0'	50.72'	49.42'	VARIANCE
REAR YARD SETBACK	20.0'	19.60'	NO CHANGE	EXISTING
ONE SIDE YARD SETBACK	10.0'	30.01' / 36.5'	28.15' / 36.5'	CONFORMS
COMBINED SIDE YARD SETBACKS	20.0'	66.51'	64.65'	CONFORMS
MAX BUILDING COVERAGE	18% (1543 SF)	15.95% (1367 SF)	17.39% (1491 SF)	CONFORMS
MAX IMPERVIOUS LOT COVERAGE	40% (3428 SF)	24.7% (2117 SF)	27.59% (2365 SF)	CONFORMS
BUILDING HEIGHT	2 1/2 STY. / 30.0'	1-1/2 STY / 20.5'	2-1/2 STY / 29.75'	CONFORMS

BUILDING COVERAGE CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
GARAGE	227	40	267
BUILDING COVERAGE	1140	84	1224
TOTAL BUILDING COVERAGE	1367	124	1491

IMPERVIOUS COVERAGE CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
BUILDING COVERAGE	1367	124	1491
DRIVEWAY	477	97	574
FRONT STEPS, LANDINGS, + WALKS	9	111	120
REAR WALK + PATIO	180	0	180
TOTAL IMPERVIOUS COVERAGE	2117	248	2365

FLOOR AREA RATIO CALCULATIONS:

AREA IN SQUARE FEET	EXIST	NEW	TOTAL
FINISHED FIRST FLOOR AREA	1140	84	1224
FINISHED SECOND FL. AREA	0	1421	1421
TOTAL AREA	1140	1505	2645

BUILDING CODE INFORMATION:  
EXISTING BUILDINGS - UCC REHABILITATION SUBCODE NJAC 5:23-6.  
INT. RESIDENTIAL CODE - NJ EDITION 2018.  
INT. ENERGY CONSERVATION CODE 2018  
2018 INTERNATIONAL MECHANICAL CODE  
2017 NATIONAL ELECTRICAL CODE  
2018 NATIONAL STANDARD PLUMBING CODE  
2018 INTERNATIONAL FUEL GAS CODE

BUILDING/SITE CHARACTERISTICS:

NUMBER OF STORIES	2-1/2
HEIGHT OF STRUCTURE	26.80'
AREA - LARGEST FLOOR	1491 SF
NEW BUILDING AREA	1506 SF
VOLUME OF NEW STRUCTURE	19565 CF
CONSTRUCTION CLASSIFICATION	5B
TOTAL LAND AREA DISTURBED	248 SF

DESCRIPTION OF BUILDING USE:

USE GROUP R-5, SINGLE FAMILY RESIDENTIAL

MAXIMUM LIVE LOADS:

60 PSF FOR DECK / BALCONIES  
40 PSF FOR FIRST FLOOR  
30 PSF FOR SECOND FLOOR  
30 PSF FOR ROOF SNOW LOADS

Residence

Block: 1708 Lot: 14  
592 Fermery Drive  
New Milford, New Jersey

SITE PLAN + ZONING, CELLAR PLAN

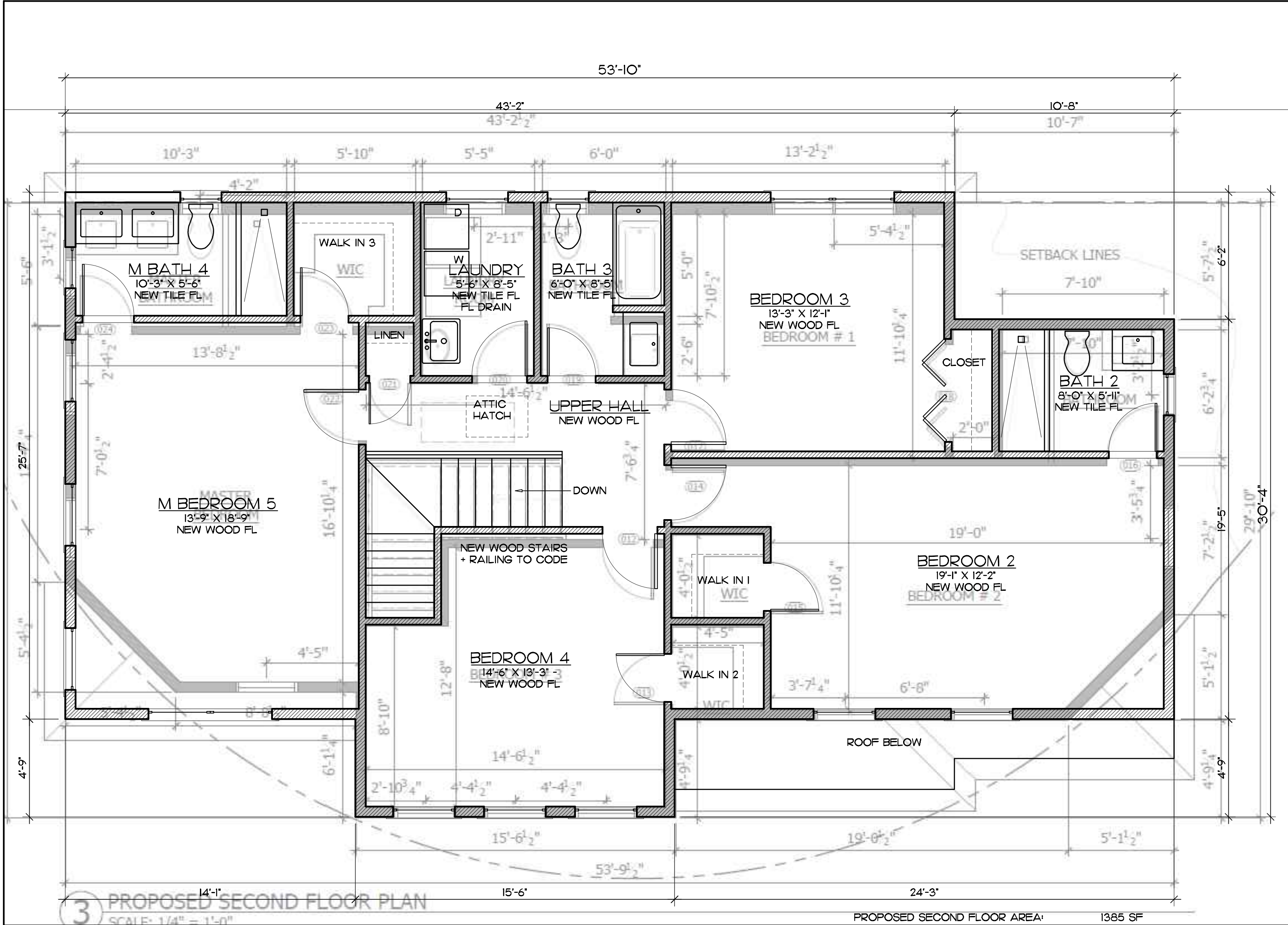
Scale: AS NOTED

Date: SEPT 26, 2022

Submission: ZONING PERMIT

Indemnification Clause:  
The owner shall release, hold harmless, and indemnify the Architect with respect to: any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.

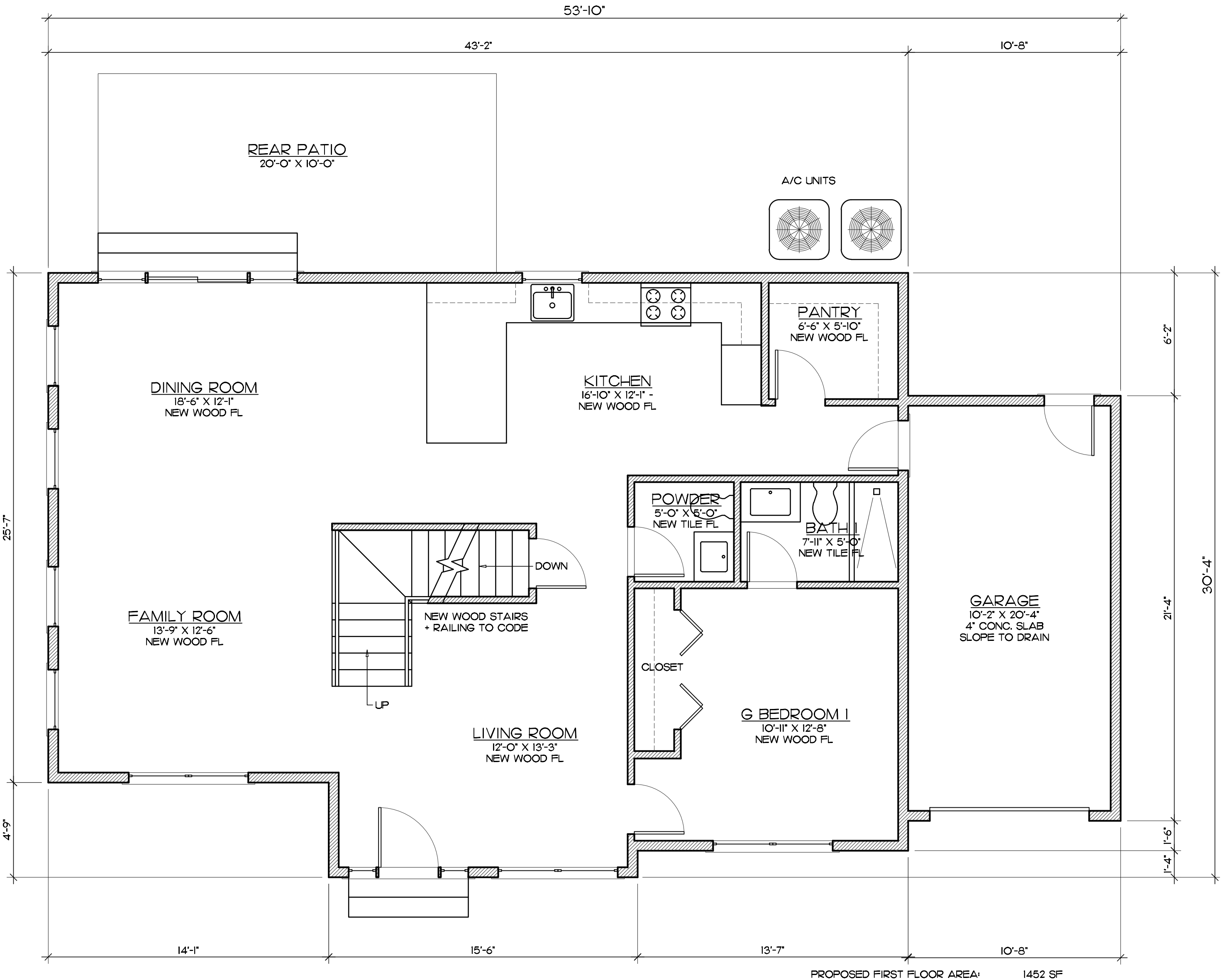




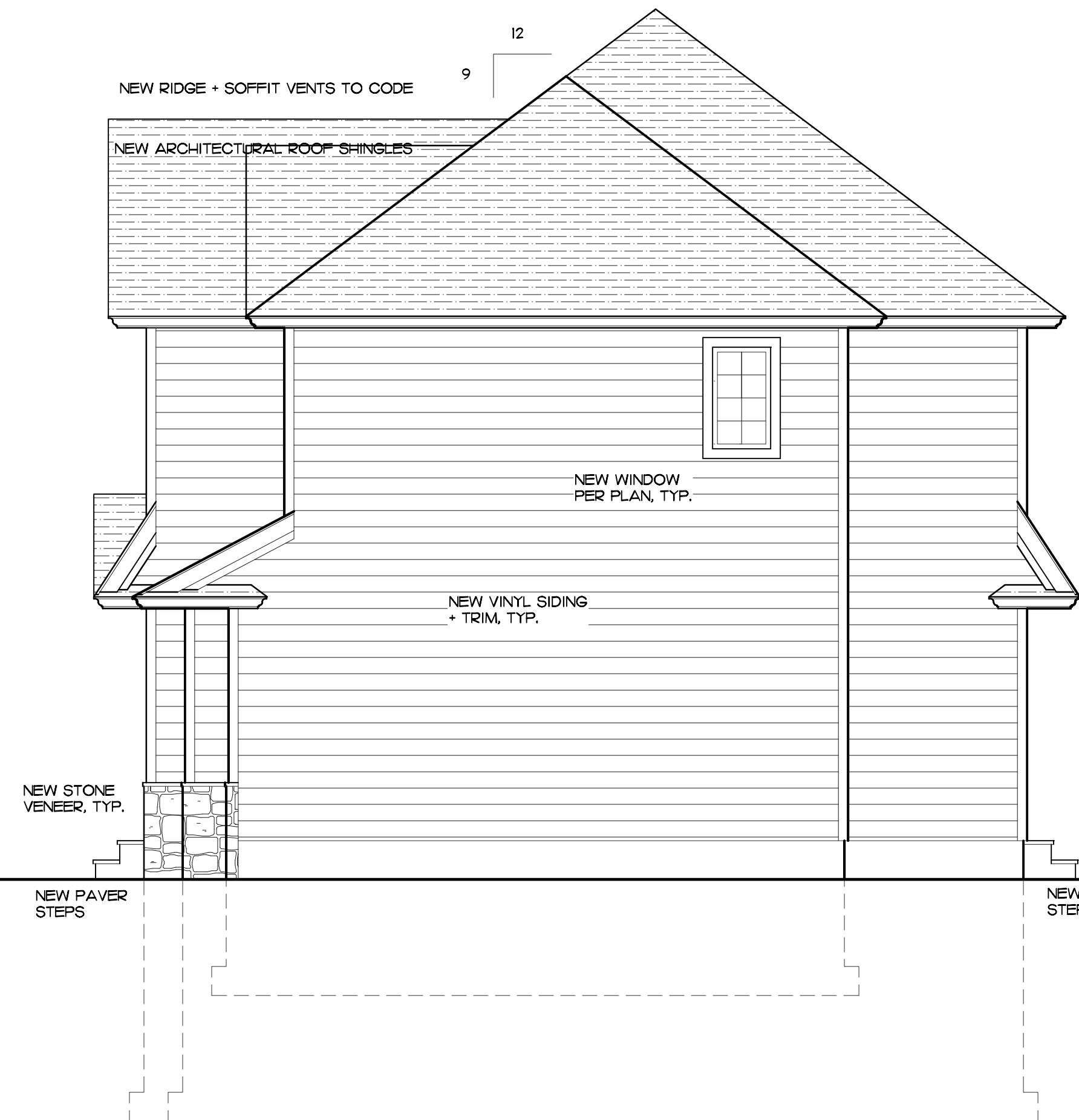
2 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

ELECTRICAL LEGEND	
	• SURFACE MOUNT LIGHT FIXTURE
	• 6" DIA. (L.O.N.) RECESSED FIXTURE
	• WALL MOUNTED LIGHT FIXTURE
	NEW OR EXIST SMOKE ALARM • INTERCONNECTED • HARD-WIRED W/ BATTERY BACKUP
	NEW OR EXIST CARBON MONOXIDE • DETECTOR, INTERCONNECTED • HARD-WIRED W/ BATTERY BACKUP
	• SURFACE MOUNT FAN / LIGHT FIXTURE
	• SINGLE POST ELECTRICAL SWITCH
	• THREE WAY SWITCH
	• DUPLEX RECEPTACLE OUTLET
	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
	• WATER PROOF RECEPTACLE OUTLET
	NEW OR EXIST EXHAUST FAN, 80 CFM • 3 FIXTURES, 100CFM • 4 FIXTURES
	NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
	NEW TELEPHONE OUTLET • VERIFY TYPE • LOCATION WITH OWNER

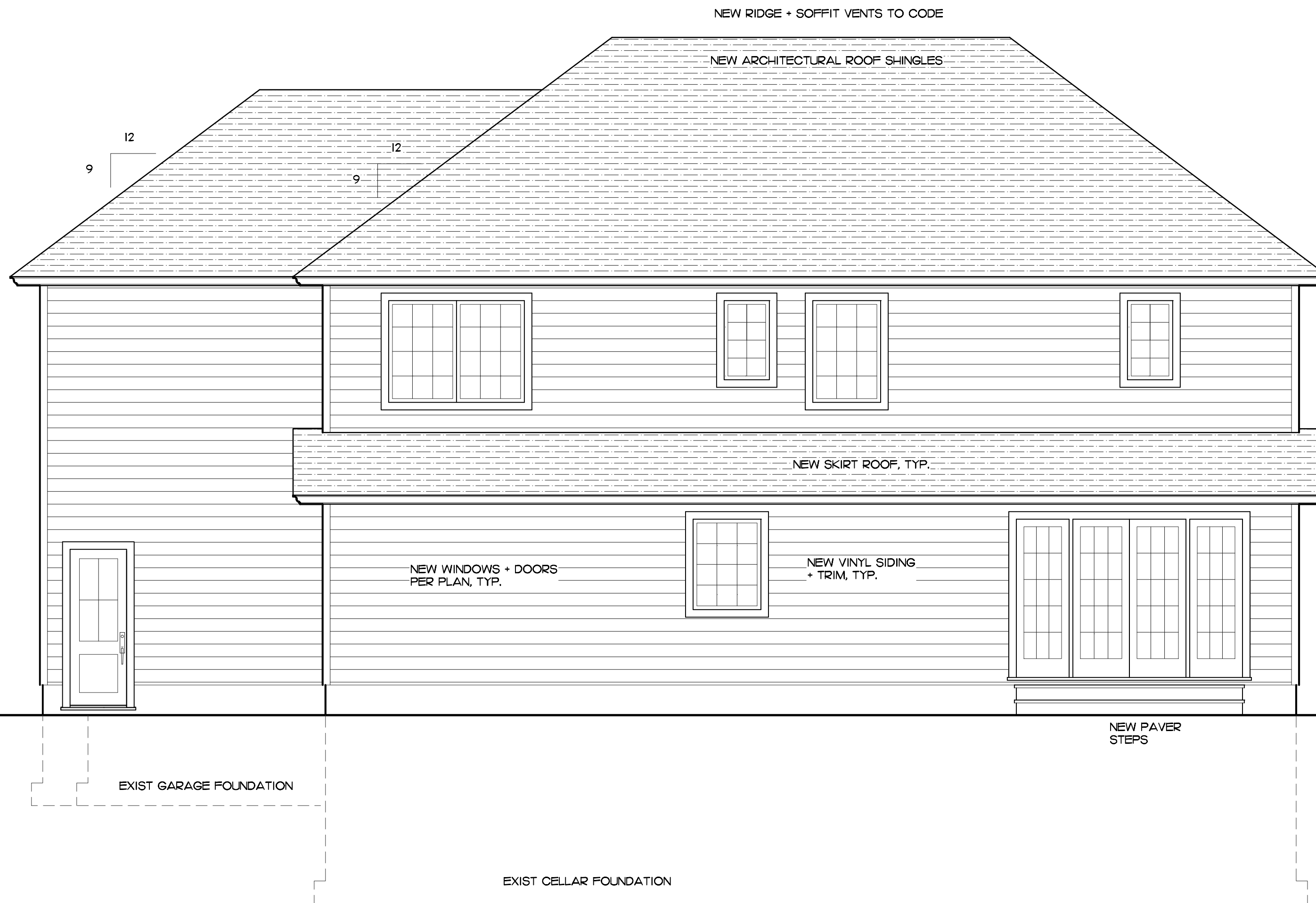
LEGEND	
	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (L.O.N.)
	EXISTING CONCRETE CONSTRUCTION TO REMAIN
	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
	NEW POURED OR MASONRY CONC CONSTRUCTION
	FLOOR ABOVE OR BELOW
	NEW JOISTS, RAFTERS, ETC.
	NEW GIRDERS, RIDGEBEAMS, ETC.



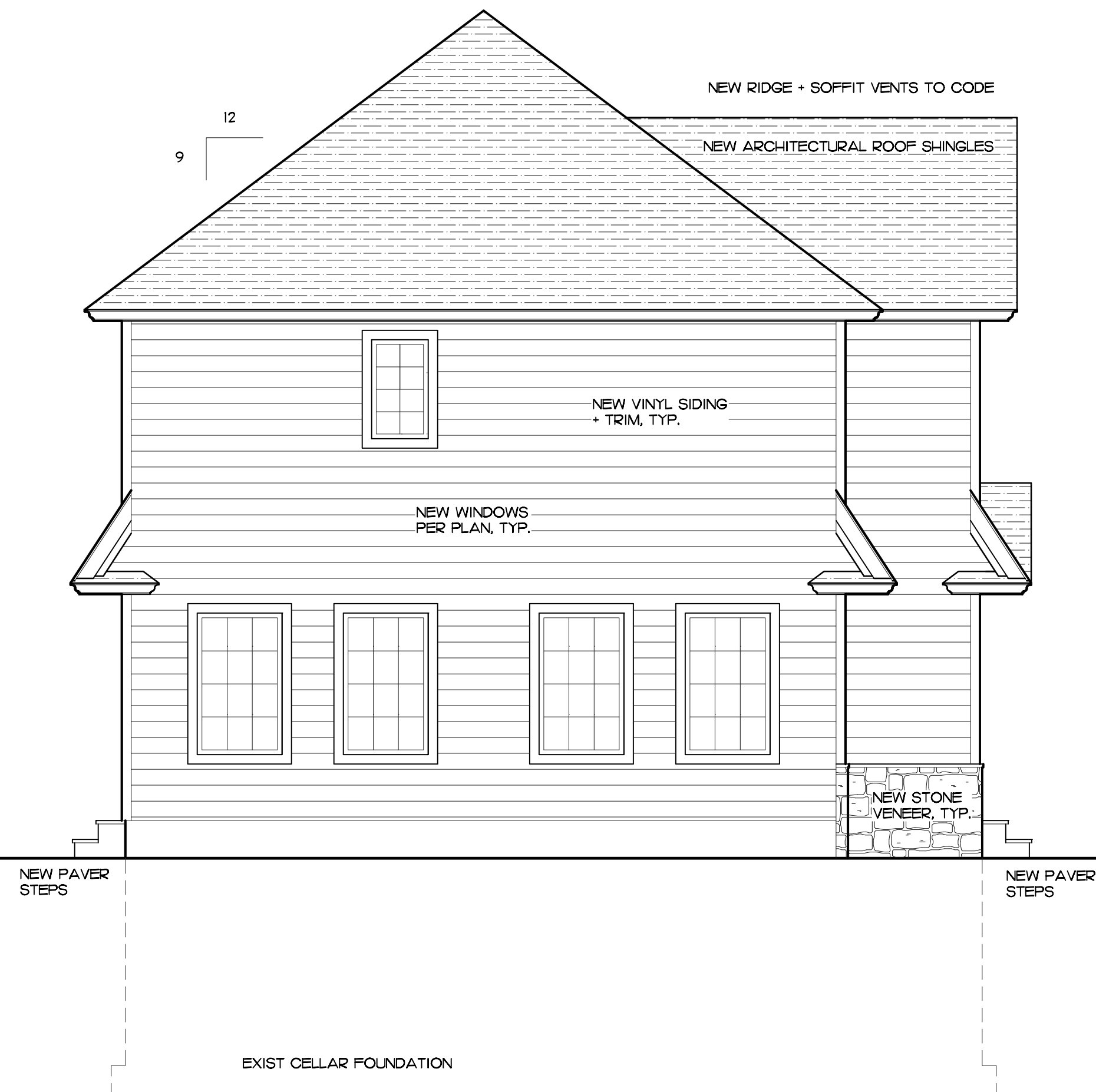
1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



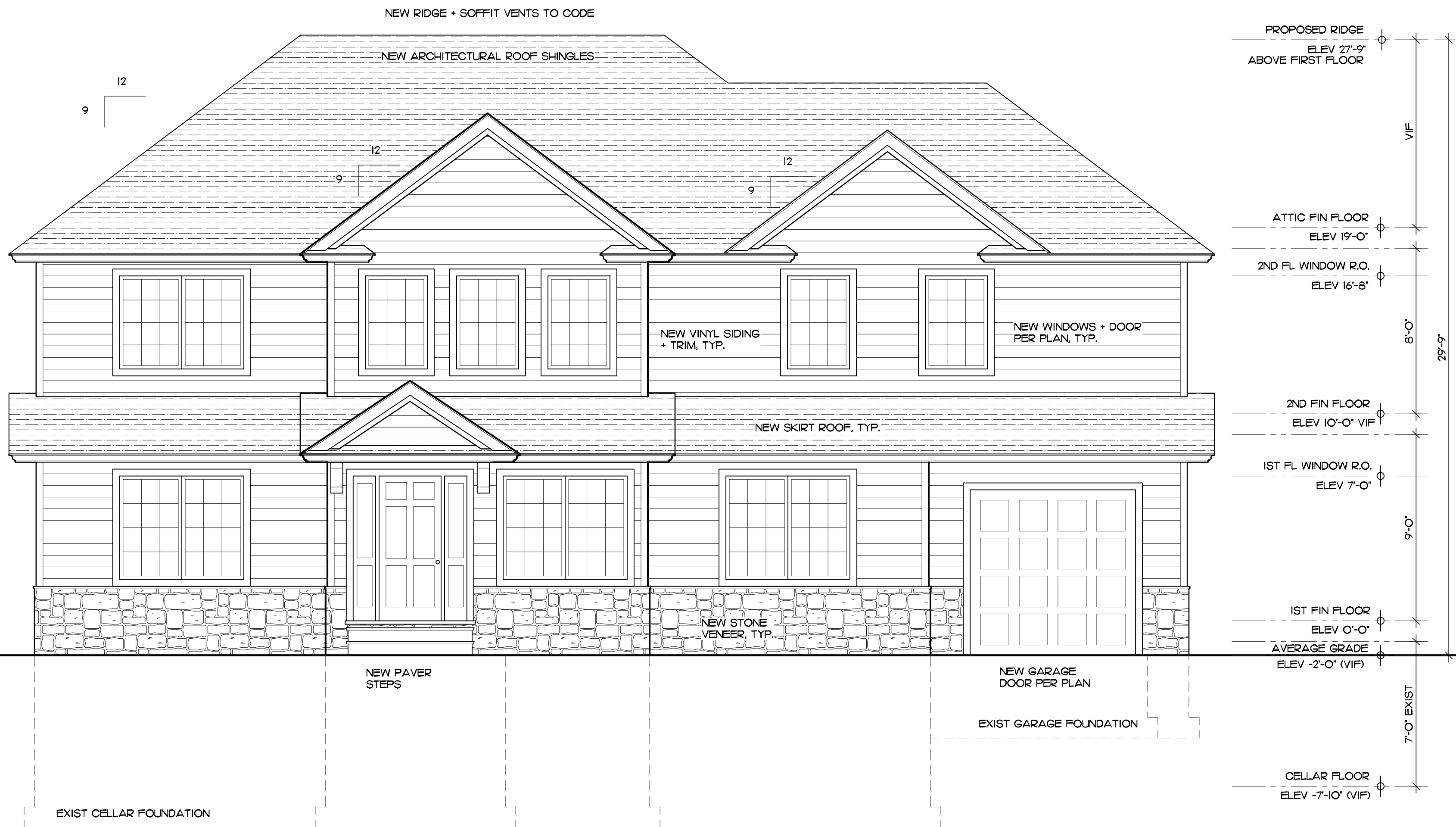
4 RIGHT-SIDE ELEVATION  
1/4" = 1'-0"



5 REAR ELEVATION  
1/4" = 1'-0"



6 LEFT-SIDE ELEVATION  
1/4" = 1'-0"



3 FRONT ELEVATION  
1/4" = 1'-0"

#	Date	Revision
New Construction at Exist Foundation for:		

### Residence

Block: 1708 Lot: 14  
592 Fernery Drive  
New Milford, New Jersey

### PROPOSED ELEVATIONS

Scale: 1/4" = 1'-0"

Date: SEPT 26, 2022

Submission: ZONING PERMIT

**Indemnification Clause:**  
The owner shall release, hold harmless, and indemnify the Architect with respect to: any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.