

# CAPIZZI LAW OFFICES

11 Hillside Ave., Second Floor

Tenafly, NJ 07670

MATTHEW G. CAPIZZI, ESQ.

201 266 8300 (o)

N.J., N.Y., & D.C. Bars

201 266 8301 (f)

Capizzilaw.com

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New York Office:

1 Blue Hill Plaza

Lobby Level, Suite 1509

Pearl River, NY 10965

Reply to New Jersey Office

June 29, 2021

## Initial Submittal for Completeness Review

### Via Overnight Mail

Maureen Oppelaar – ZBA Secretary

930 River Road

New Milford, NJ 07646

Re: 203 Main Street Property LLC – New Milford ZBA (the “Applicant”)  
203 Main Street; Block 1304, Lot 5 (the “Property”)

Dear Ms. Oppelaar:

As you know, we represent the above Applicant regarding its variance application before the New Milford Zoning Board of Adjustment seeking variances relative to the renovation and expansion of the existing building to provide for the following uses: (1) 1<sup>st</sup> Floor: Divide the 1<sup>st</sup> Floor into three suites consisting of a commercial suite for use as a retail business or restaurant, a one-bedroom apartment, and a two-bedroom apartment and (2) 2<sup>nd</sup> Floor: 4 two-bedroom apartments. To that end, enclosed please find the following:

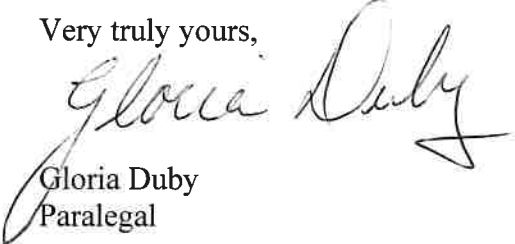
1. Notice of Appeal Zoning Board of Adjustment with Rider attached thereto (17 copies);
2. Borough of New Milford Zoning Work Sheet with Letter of Denial dated June 8, 2021 attached thereto (17 copies);
3. Block Diagram (17 copies);
4. Seepage Pit Design prepared by dated as of April 20, 2021 (17 copies);
5. Engineering Plan prepared by Azzolina & Feury Engineering, Inc., dated as of April 20, 2021 and last revised as of May 11, 2021 consisting of two (2) sheets (17 copies);
6. Architectural Plan prepared by Canzini Architects dated as of May 4, 2021 and last revised as of May 19, 2021 consisting of three (3) sheets (17 copies); and
7. Applicant's W9 and checks:
  - Check # 1001 in the amount of \$200.00 (Application Fee)
  - Check # 1002 in the amount of \$1,500.00 (Escrow Fee).

Maureen Oppelaar – ZBA Secretary  
June 29, 2021  
Page 2 of 2

Kindly advise when this matter has been deemed complete and assigned a hearing date before the New Milford Zoning Board of Adjustment.

Thank you.

Very truly yours,

A handwritten signature in cursive script that reads "Gloria Duby". The signature is fluid and elegant, with a long, sweeping tail on the "y".

Gloria Duby  
Paralegal

MGC/gd  
Enclosures

Application # \_\_\_\_\_

**NOTICE OF APPEAL  
ZONING BOARD OF ADJUSTMENT  
BOROUGH OF NEW MILFORD, BERGEN COUNTY, NJ 07646**

Property Address 203 Main Street, New Milford NJ 07646 Subject to Sale agreement (YES ☒ NO ☐)

Block 1304 Lot 5 Zone (Residential - Business - Townhome - other \_\_\_\_\_)

Size of Lot 12,848 Sq. Ft. Present use (Residential - Business - Townhome - other \_\_\_\_\_)

☒ Owned ☐ Leased - If property is within 200' of Borough line name adjacent municipality(ies) N/A

Name of Owner 203 Main Street Properties LLC Telephone \_\_\_\_\_

Owner's Address (if different from above) \_\_\_\_\_

Name of Applicant (if not homeowner) 203 Main Street Properties LLC c/o Matthew G. Capizzi, Esq.

Applicant address 11 Hillside Avenue, 2nd Floor, Tenafly NJ 07670 Phone Number 201-266-8300

Name of Attorney Matthew G. Capizzi, Esq. Phone Number 201-266-8300 Attending Meeting Yes

Name of Architect Chris Canzini, A.I.A. Phone Number 201-265-5645 Attending Meeting Yes

Name of Engineer: Perry Frenzel, P.E. Phone Number: 201-845-8500 Attending Meeting: Yes

The applicant/homeowner hereby seeks relief from section (s) \_\_\_\_\_ of the New Milford Borough Ordinance.  
(statute numbers from denial letter)

30-25.1(a)(11)(a), 30.25.1(g)(2)(3), and 30.28.1(e)(1)(2)

The proposed application is contrary to the ordinance in the following way(s). Be specific attach a separate sheet if necessary. (What you are proposing and why it violates the zoning ordinance).

See attached Rider.

	Lot Area	Front	Right Side	Left Side	Corner	Rear	Height	Building Coverage
Required	<u>7,500 sq.ft.</u>	<u>0.0'</u>	<u>0.0'</u>	<u>0.0'</u>	<u>N/A</u>	<u>10.0'</u>	<u>30'</u>	<u>1,000 Sq. Ft.</u>
Existing	<u>N/A</u>	<u>0.6'</u>		<u>0.1'</u>	<u>N/A</u>	<u>11.7'</u>	<u>16.8'</u>	<u>4,180 Sq. Ft.</u>
Proposed	<u>n/a</u>	<u>0.8'</u>	<u>50.0'</u>	<u>0.1'</u>	<u>N/A</u>	<u>11.7'</u>	<u>34.6'</u>	<u>4,432 Sq. Ft.</u>
Difference	<u>n/a</u>							

Driveway Width Required N/A Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Curb Cut [ Y/N ] Size \_\_\_\_\_

Are trees being removed YES ☒ NO ☐ How many \_\_\_\_\_ Shade Tree Commission date approved \_\_\_\_\_

Signature of Applicant  Date 6/29/2021

Filed on behalf of Applicant by Matthew G. Capizzi, Esq. Title Applicant's Attorney

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Reply to New Jersey Office

June 29, 2021

## Rider to Notice of Appeal

### Via Overnight Mail

Chairman N. Ari Weisbrot and Members of the Board

Borough of New Milford

930 River Road

New Milford, NJ 07646

Re: 203 Main Street Properties, LLC – New Milford ZBA (the “Applicant”)  
203 Main Street; Block 1304, Lot 5 (the “Property”)

Dear Mr. Chairman Weisbrot and Members of the Board:

This office represents the above Applicant regarding its application before the New Milford Zoning Board of Adjustment (the “Board”). The Property is improved with a one-story building that was a former restaurant. The Applicant seeks to renovate and expand the existing building to provide for the following uses:

**1<sup>st</sup> Floor:** Divide the 1<sup>st</sup> Floor into three suites consisting of the following:

1. 1,976 Sq. Ft. commercial suite for use as a retail business or restaurant containing 32 seats;
2. a one-bedroom apartment; and
3. a two-bedroom apartment.

**2<sup>nd</sup> Floor**

1. 4 two-bedroom apartments

To permit the renovations and expansions, the Applicant is before the Board seeking Site Plan Approval and bulk variances as to Minimum Size of Residential Units (700 sf for one-bedroom and 900 sf for two-bedrooms Minimum Required v. 655 sf for one-bedroom and 844 sf for two-bedrooms Proposed) and Minimum Off-Street Parking if

Chairman Weisbrot and Members of the Board

June 29, 2021

Page 3 of 3

the first-floor unit is used as Retail Use (26 Required<sup>1</sup> v. 20 Proposed). If the first floor is used as a restaurant, the combination of restaurant and apartment uses **does not** require a variance as to off-street parking as the site will provide 20 parking spaces where 20' are required<sup>2</sup>.

Thank you.

Very truly yours,



Matthew G. Capizzi, Esq.

MGC/gd

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<sup>1</sup> Retail - 1 space per 150 sf/1976 = 13.17 parking spaces; 5 two-bedroom and 1 one-bedroom = 12 parking spaces for a total of 25 parking spaces

<sup>2</sup> Restaurant - 1 space per 4 seats/32 seats = 8 parking spaces; 5 two-bedroom and 1 one-bedroom = 12 parking spaces for a total of 20 parking spaces

**BOROUGH OF NEW MILFORD ZONING WORK SHEET**

\$65.00 Fee

930 River Road, New Milford, NJ 07646 - (201) 967-8172 fax (201) 967-1741  
203 Main Street Properties, LLC  
One-story addition retail/apartments  
Owner c/o Matthew G. Capizzi, Esq. Proposed Project on the first floor and Corner Property YES [ ] NO [X]  
apartments on the second floor  
Job Location 203 Main Street, New Milford NJ 07646 Phone Number 201-266-8300

**INSTRUCTIONS** Please fill in the zoning work sheet in the spaces where applicable based on your construction project. Include a copy of your survey with your project sizes, dimensions and setback figures drawn on it. You are certifying the below figures are true.

**Setback Requirements**

**Sheds/Detached Garages** 5' from rear & side yard (Sheds 9' high, Garages/ Gazebos 15' high)  
**Pools** 6' from rear & side yard (everything associated with pool, such as walkways, heater, filter, etc.)  
**IN GROUND POOLS -** Two typography site plans are required & \$500 escrow deposit for engineer review, inspection fees.  
Drainage retention systems may be required to comply with the new zero run off law, to be determined after engineer review.  
**Front yard setback** The average setback line of the buildings situated within the same block & within (200') feet of either side lot line or 30 feet if no building exists within (200') feet & measured in a direction parallel to the street on which the lot faces. For any proposed front yard project please include **front yard worksheet**.  
**Rear yard setback** 25% of lot depth, 20' minimum if your lot is less than 100' deep.  
**Side yard setback** 10' setback for lots 65' or more of the front width of your property  
7.5' setback for lots 64' or less front width of your property  
**Corner setback** 30' setback  
**Height** 30' high, measured from the average of four corners from the grade to the highest point of the roof.  
**Story -** Where the basement ceiling is at least 3 feet above the average finished grade along any side of the building the basement shall count as one story.

**SETBACK WORKSHEET**

<b>Front Yard Setback (30-21.5)</b> (Include separate front yard worksheet for all porches, porticos)	Variance Needed
Requirement <u>0.0'</u> Existing <u>0.6'</u> Proposed <u>0.8'</u>	Yes [ ] No [x]
<b>Rear Yard Setback (30-21.5b)</b>	
Requirement <u>10.0'</u> Existing <u>11.7'</u> Proposed <u>11.7'</u>	Yes [ ] No [x]
<b>Right Side Yard Setback (30-21.5c)</b>	
Requirement <u>0.0'</u> Existing <u>----</u> Proposed <u>50.0'</u>	Yes [ ] No [X]
<b>Left Side Yard Setback (30-21.5c)</b>	
Requirement <u>0.0'</u> Existing <u>0.1'</u> Proposed <u>0.1'</u>	Yes [ ] No [ ]
<b>Corner Setback (30-21.5c1 &amp; c2)</b>	
Requirement <u>30'</u> Existing <u>N/A</u> Proposed <u>N/A</u>	Yes [ ] No [ ]
<b>Height (30-21.6)</b>	
Requirement <u>30'</u> Existing <u>16.8'</u> Proposed <u>34.6'</u>	Yes [ ] No [x]
<b>Stories (30-21.6) &amp; definition of story</b>	
Requirement <u>2 ½ stories</u> Existing <u>1</u> Proposed <u>2</u>	Yes [ ] No [x]

**Maximum Building Coverage Requirements determined by lot size (30-21.4)**

Your lot size        SQ.FT. x 0.20 =        SQ. FT. ← Your requirement (A) **N/A**

**Maximum Total Impervious Coverage Requirements (30-21.4)**

Your lot size        SQ. FT. x 0.40 =        SQ. FT. ← Your requirement (B) **N/A**

**Lot Coverage Worksheet** (for all new houses, additions, decks, porches, etc.)

ITEM NO.	DESCRIPTION	EXISTING (SQUARE FEET)	PROPOSED (SQUARE FEET)	REMARKS
1	BUILDING FOOTPRINT	4,180 Sq. Ft.	4,432 Sq. Ft.	
2	DETACHED GARAGE	N/A	N/A	
3	ROOFED PORCHES, PATIOS AND BREEZEWAYS	N/A	N/A	
4	STORAGE SHEDS	N/A	N/A	
5	OTHER ACCESSORY BUILDINGS	N/A	N/A	
6	DRIVEWAYS AND PARKING AREAS	8,668 Sq. Ft.	8,416 Square Ft.	
7	OPEN PORCHES, TERRACES, PATIOS AND DECKS	N/A	N/A	
8	STEPS AND WALKWAYS	N/A	N/A	
9	SWIMMING POOLS	N/A	N/A	
10	OTHER IMPERVIOUS SURFACES	N/A	N/A	
11	TOTAL BUILDING COVERAGE (ADD ITEMS 1 THROUGH 5)	4,180 S.F. %	4,432 S.F. %	DIVIDE THE TOTAL SQUARE FOOT AREA BY THE LOT AREA TO DETERMINE % OF COVERAGE
12	TOTAL IMPERVIOUS COVERAGE (ADD ITEMS 1 THROUGH 10)	100 S.F. %	12,848 S.F. %	

Variance Needed

**BUILDING COVERAGE:** Required 1,000 Sq. Ft. (A), Proposed: \_\_\_\_\_ (11) Yes [ ] No [x]

**TOTAL IMPERVIOUS LOT COVERAGE** Required 100% (B), Proposed: 100% (12) Yes [ ] No [x]

**Pools (23-3.2)** (In ground, Above ground, Semi- in ground) and everything associated with the pool (filters, heaters, and walkway)

N/A

Side Requirement 6' Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Type of pool:  
Rear Requirement 6' Existing \_\_\_\_\_ Proposed \_\_\_\_\_ INGROUND [ ] ABOVE GROUND [ ] SEMI [ ]

The determination of the need or lack of need for a variance is not binding on the Borough of New Milford. That determination may only be made by the appropriate land use board or through the judicial process, the applicant, by making this request for a zoning determination expressly waives any argument of municipal estoppel.

Survey and as built plans may be required for this project

Homeowner/ Architect/ Contractor Signature \_\_\_\_\_ Phone Number \_\_\_\_\_  
Attorney for Applicant

For Office Use Only:

Approved [ ] Denied [ ☒ ] Variances Needed: 30-25.1(A)(1)(a) 30-25.1(1)(2)(3)  
unreferred DATE 30-28.1(E)(1)(2)  
Vince Cahill - Zoning Officer 201-967-8172 6/8/2021



**Borough of  
New Milford  
Department of Public Works**

850 Robert K. Chester Way, New Milford, New Jersey 07646  
Tel.: (201) 967-8172 Fax: (201) 967-1741  
Mailing address:  
930 River Road, New Milford, New Jersey 07646

VINCENT A. CAHILL, CPWM, CFM, CIS, CRP  
Director of Public Works  
Zoning Officer  
Property Maintenance Officer  
vcahill@newmilfordboro.com

SYL BRESA, CPWM  
Superintendent of Public Works  
Property Maintenance Officer  
sbresa@newmilfordboro.com

203 Main Street Properties LLC.  
C/O Capizzi Law Offices  
11 Hillside Avenue Second Floor  
Tenaflly, New Jersey 07670

RE: 203 Main Street Block 1304 lot 12

Date: June 8, 2021

To whom it may concern

I have reviewed the plans drawn by Canzani Architects dated May 19, 2021. This letter is to inform you that the application is denied as it violates Borough codes 30-25.1(a)(11)(a) dwellings, 30.25.1(g)(2)(3) minimum size of residential units and 30-28.1(e)(1)(2) off street parking.

Appearance before the Zoning Board of Adjustment is required for a use variance, in addition to any other variances the Board may deem necessary.

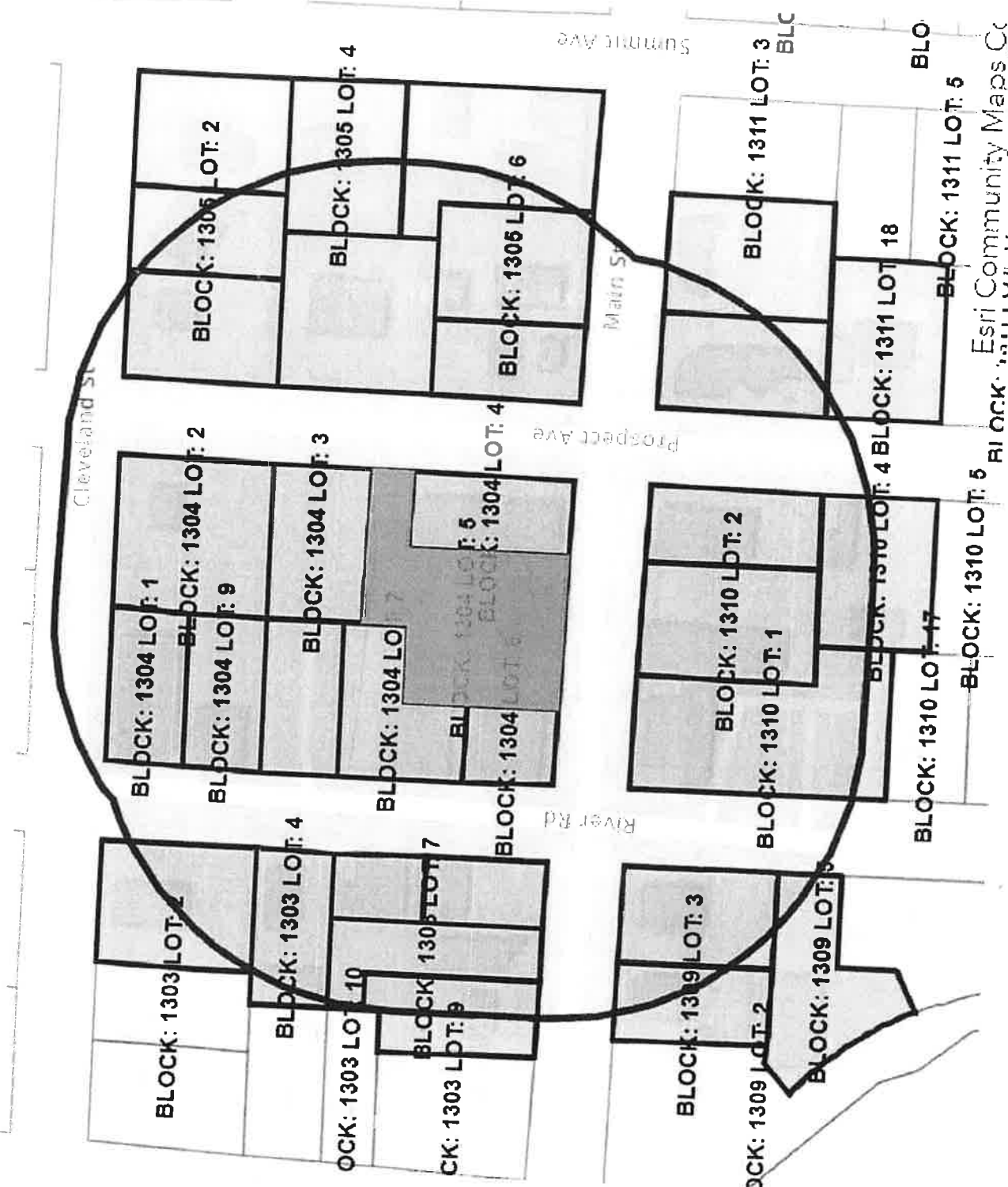
If you wish to schedule a meeting with the Zoning Board, please contact Board Secretary, Maureen Oppelaar, at 201-967-5044 extension 5560.

If you have any questions, I can be reached at above email.

Respectfully,

Vincent A. Cahill, CPWM, CFM, CIS, CRP  
Director of Public Works  
Zoning Officer  
Property Maintenance Officer





Cleveland St

Prospect Ave

River Rd

Main St

Summit Ave

BLOCK: 1303 LOT: 1

BLOCK: 1303 LOT: 4

BLOCK: 1303 LOT: 10

BLOCK: 1303 LOT: 9

BLOCK: 1303 LOT: 7

BLOCK: 1304 LOT: 1

BLOCK: 1304 LOT: 2

BLOCK: 1304 LOT: 9

BLOCK: 1304 LOT: 3

BLOCK: 1304 LOT: 7

BLOCK: 1304 LOT: 5

BLOCK: 1304 LOT: 4

BLOCK: 1304 LOT: 6

BLOCK: 1305 LOT: 2

BLOCK: 1305 LOT: 4

BLOCK: 1305 LOT: 6

BLOCK: 1309 LOT: 3

BLOCK: 1309 LOT: 2

BLOCK: 1309 LOT: 1

BLOCK: 1310 LOT: 2

BLOCK: 1310 LOT: 1

BLOCK: 1310 LOT: 4

BLOCK: 1310 LOT: 17

BLOCK: 1311 LOT: 3

BLOCK: 1311 LOT: 18

BLOCK: 1311 LOT: 5

BLOCK: 1310 LOT: 5

Esri Community Maps Co

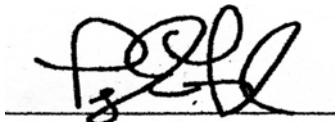
**SEEPAGE PIT DESIGN**

**203 MAIN STREET PROPERTY LLC**

203 MAIN STREET  
BLOCK 1304 - LOT 5  
BOROUGH OF NEW MILFORD  
BERGEN COUNTY, NEW JERSEY  
FILE #12061

April 20, 2021

AZZOLINA & FEURY ENGINEERING, INC.  
CONSULTING ENGINEERS  
PARAMUS, NEW JERSEY

A handwritten signature in black ink, appearing to read 'Perry E. Frenzel', is written over a horizontal line.

Perry E. Frenzel, P.E.  
Professional Engineer  
N. J. Lic. #28190

**203 MAIN STREET PROPERTY LLC**

Block 1304 - Lot 5  
203 Main Street  
Borough of New Milford  
Bergen County, New Jersey

Prepared by: CDD  
Checked by: PEF  
Date: April 20, 2021  
Job #12061

**SEEPAGE PIT SYSTEM DESIGN**

Drainage Area: 4,481 ft<sup>2</sup> (Impervious; Roof Area) C=0.98  
5,308 ft<sup>2</sup> (Impervious; Driveway Area) C=0.98

Design Storm: 10 Year – 60 minute  
2.0 in./hr. Intensity  
2.0 in. of Total Rainfall

Volume of Runoff: {2.0 in. / (12 in./ft.)} x 4,481 ft<sup>2</sup> x 0.98 = **732 ft<sup>3</sup>**  
{2.0 in. / (12 in./ft.)} x 5,308 ft<sup>2</sup> x 0.98 = **867 ft<sup>3</sup>**  
**Total = 1,599 ft<sup>3</sup>**

**SEEPAGE PIT SYSTEM VOLUME**

(3 Pits)

8.0 ft. Diameter, 3'-8" Deep  
3.0' Stone Around, 2.5' Under  
(See Plan for Detail)

Pit Volume:  $3(\pi R^2 H) = 3\{\pi(3.67^2)(3.0')\} = \mathbf{381\ ft^3}$

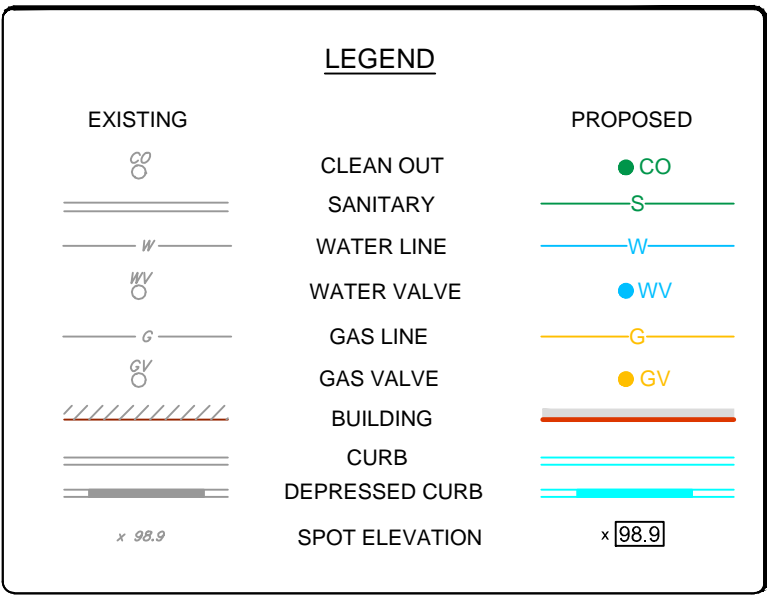
Stone Volume around Pit:  $\{(V_{\text{Stone}}) - (V_{\text{seepage Pit}})\} \times 40\% \text{ Voids}$   
 $\{(W \times L \times H) - (\pi R_{\text{outer}}^2 H)\} \times 40\% \text{ Voids}$   
 $\{(14.0' \times 42.0' \times 3.67') - 3(\pi(4.0')^2(3.67'))\} \times 0.40 = \mathbf{642\ ft^3}$

Volume of Stone under Pit:  $(W \times L \times H) \times 40\% \text{ Voids} = (14.0' \times 42.0' \times 2.5') \times 0.40 = \mathbf{588\ ft^3}$

Total Volume of Pit:  $381 + 642 + 588 = \mathbf{1,611\ ft^3}$

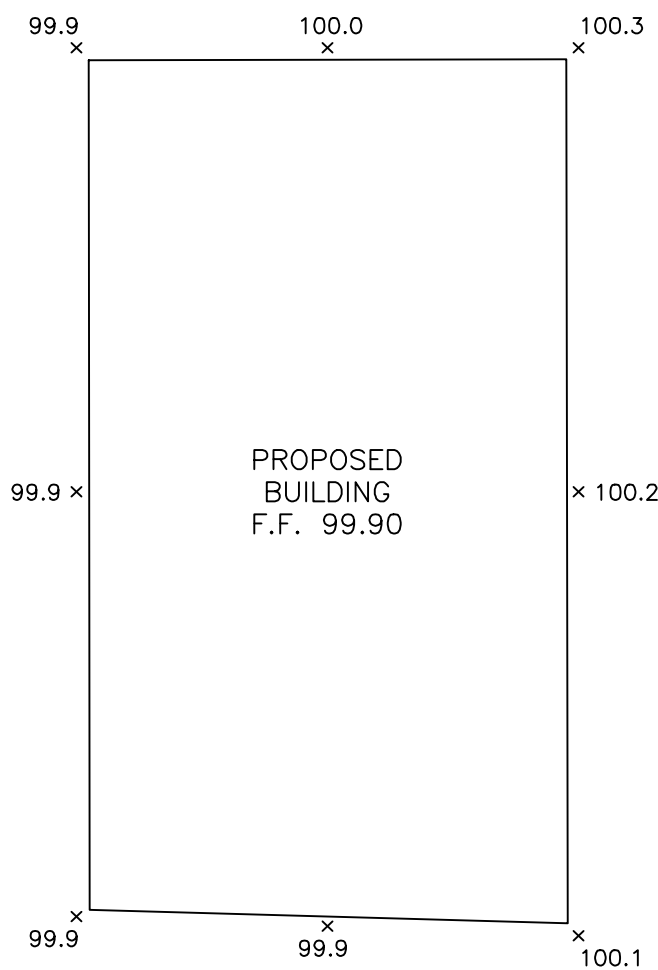
**Storage Provided 1,611 ft<sup>3</sup> > 1,599 ft<sup>3</sup> Storage Required**





CONSTRUCTION SEQUENCE (SITEWORK): DURATION:

1.	CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.	1 DAY
2.	CONSTRUCT SILT FENCE.	1 DAY
3.	CLEAR SITE WITHIN LIMIT OF DISTURBANCE, STRIP AND STOCKPILE TOPSOIL AND GRADE SITE.	1 DAY
4.	EXCAVATE FOR FOUNDATION, SEEPAGE PITS AND SWIMMING POOL.	2 WEEKS
5.	CONSTRUCT BUILDING, SWIMMING POOL AND APPURTENANCES.	4 MONTHS
6.	CONSTRUCT AND INSTALL SEEPAGE RAMP.	1 WEEK
7.	AFTER BUILDING IS COMPLETE, PERFORM FINAL GRADING, UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5".	1 WEEK
8.	MINIMUM OF 4", FIRMED IN PLACE AND INSTALL LANDSCAPING.	1 DAY
9.	CONSTRUCT BASE COURSE AND FINISH PAVEMENT COURSE.	1 DAY
10.	REMOVE EROSION CONTROL DEVICES WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.	1 DAY

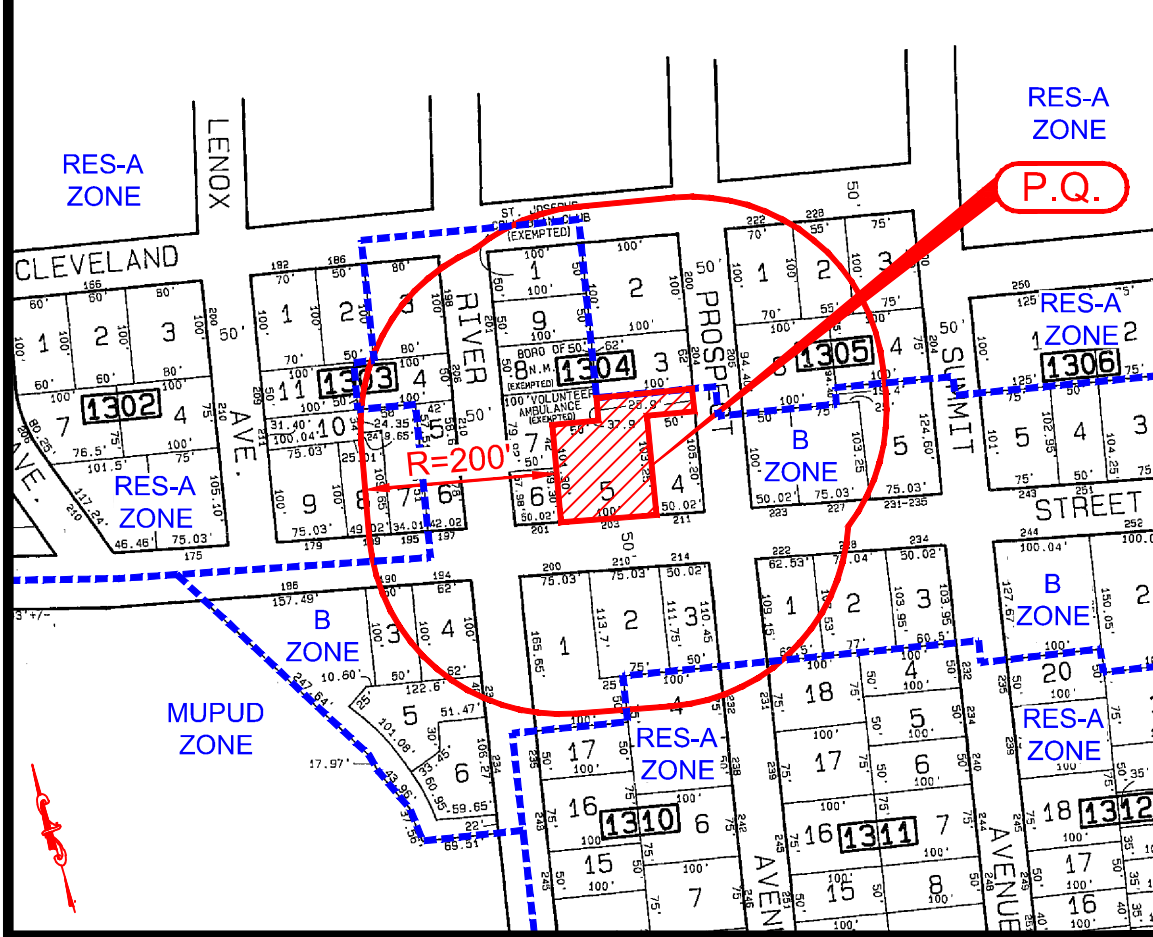


### BUILDING HEIGHT CALCULATION

99.9+99.9+99.9+99.9+100.1+100.2+100.3+100.0 = 800.2 / 8 = 100.03  
 99.9 (F.F.) + 34.73' (F.F. TO RIDGE) = 134.63 PROPOSED RIDGE  
 134.63 (RIDGE) - 100.03 (GRADE PLANE) = 34.60' PR. BLDG. HT.



THE STATE OF NEW JERSEY REQUIRES  
NOTIFICATION BY EXCAVATORS, DESIGNERS,  
OR ANY PERSON PREPARING TO DISTURB THE  
EARTH'S SURFACE ANYWHERE IN THE STATE.



NOTES:

1. PROPERTY KNOWN AS LOT 5 IN BLOCK 1304 AS SHOWN ON THE CURRENT TAX MAP SHEET 13, LAST REVISED APRIL 2013, OF THE BOROUGH OF NEW MILFORD.
2. PROPERTY OWNER/APPLICANT: 203 MAIN STREET PROPERTY LLC  
725 RIVER ROAD  
NEW MILFORD, NJ 07646
3. AREA OF ENTIRE PROPERTY: 12.848 S.F. or 0.2949 ACRES
4. PROPERTY LOCATED IN THE B (BUSINESS) ZONING DISTRICT.
5. THE VERTICAL DATUM SHOWN HEREON IS BASED ON AN ASSUMED DATUM.

ITEM	REQUIRED	EXISTING	PROPOSED
USE - APARTMENT ON FIRST FLOOR *	NOT PERMITTED	N/A	YES①
MIN. LOT AREA	5,000 S.F.		12,848 S.F.
MIN. FRONT YARD	0.0'	0.6'	0.8'
MIN. SIDE YARD	0.0'	0.1'	0.1'
MIN. REAR YARD	10.0'		11.7'
MAX. IMPERVIOUS COVERAGE	100.0%	99.9%	99.4%
MAX. BUILDING HEIGHT (STORIES)	2-1/2	1	2
(FEET)	35.0'	16.8'	34'
MIN. SIZE OF RESIDENTIAL UNITS (ONE-BEDROOM UNITS)	700 S.F.	N/A	655 S.F. ②
(TWO-BEDROOM UNITS)	900 S.F.	N/A	844 S.F. ②
MIN. PARKING SPACES			
(RESIDENTIAL / RESTAURANT)	20	19	20 ③
(RESIDENTIAL / RETAIL)	26	19	20 ③

Ⓢ = DENOTES VARIANCE REQUIRED

\* FOR LOTS <1.0 ACRE - PER § 30-25.1(A)(11)

7. RESTAURANT PARKING CALCULATION PER NEW MILFORD ZONING (§ 30-28.1E):  
ONE (1) SPACE PER 4 SEATS = 32 SEATS / 4 = 8 PARKING SPACES REQUIRED
- RETAIL PARKING CALCULATION PER NEW MILFORD ZONING (§ 30-28.1E):  
ONE (1) SPACE PER 150 S.F. = 1,976 S.F. / 150 S.F. = 13.17, USE 14 PARKING SPACES REQUIRED
- RESIDENTIAL PARKING CALCULATION PER R.2/S (N.J.A.C. 5:21 TABLE 4.A):  
5 - TWO (2) BEDROOM APARTMENTS @ 2.0 SPACE EACH = 10 PARKING SPACES  
1 - ONE (1) BEDROOM APARTMENTS @ 1.8 SPACE EACH = 2 PARKING SPACES  
PARKING SPACES REQUIRED = 12 PARKING SPACES
8. ACTUAL LOCATIONS OF WATER, GAS, ELECTRIC, TELEPHONE AND CABLE SERVICE CONNECTIONS ARE SUBJECT TO FINAL APPROVAL BY THE RESPECTIVE UTILITY PROVIDERS.
9. LOCATION & INVERT OF EXISTING SANITARY SEWER MAIN TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. A SOIL LOG AND PERCOLATION TEST SHALL BE CONDUCTED AT THE LOCATION OF THE SEEPAGE PITS. THE BOROUGH ENGINEER MUST BE CONTACTED AT LEAST 48 HOURS BEFORE THE TEST IS SCHEDULED, AND TEST RESULTS MUST BE FURNISHED TO THE BUILDING DEPARTMENT & THE BOROUGH ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT.
11. SEEPAGE PIT SHALL BE INSPECTED ONCE PER YEAR AND AFTER EACH RAINFALL EVENT OF 1" PRECIPITATION PER 24 HOUR PERIOD. ANY BUILDUP OF LEAVES OR DEBRIS SHALL BE REMOVED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
12. OVERFLOW TIE CONNECTIONS AND SPLASH BLOCKS TO BE INSTALLED AT ALL ROOF LEADER DRAIN DOWNSPOUTS.
13. ALL ROOF LEADER PIPES SHALL BE CONNECTED TO THE SEEPAGE PITS.
14. THE DEVELOPER MUST TAKE CAUTION WHEN COMPLETING THE FINAL GRADING SO AS NOT TO INCREASE RUNOFF ONTO ADJACENT PROPERTIES.
15. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BOROUGH'S ORDINANCES AND/OR SPECIFICATIONS.
16. ALL CURB & ROADWAY DAMAGED DURING CONSTRUCTION TO BE REPLACED TO BOROUGH STANDARDS.
17. APPLICANT GRANTS BOROUGH OFFICIALS & EMPLOYEES PERMISSIONS TO ENTER PROPERTY FOR THE PURPOSE OF SURVEYS/INSPECTIONS.

Date: 5-11-21	Description: Per Revised Architectural Plans	Check By: PEF
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## Revisions

SITE PLAN AND SOIL EROSION  
& SEDIMENT CONTROL PLAN  
Prepared For

203 MAIN STREET  
Block 1304 - Lot 5  
Borough of New Milford  
Bergen County New Jersey




**Azzolina & Feury Engineering Inc.**  
PROFESSIONAL ENGINEERS AND LAND SURVEYORS

30 Madison Avenue, Paramus, NJ 07652 - (201) 845-8500 - Fax (201) 845-3825  
110 Stage Road, Monroe, NY 10950 - (845) 782-8681 - Fax (845) 782-4212

**N.J. CERTIFICATE OF AUTHORIZATION**  
**24GA28003600**

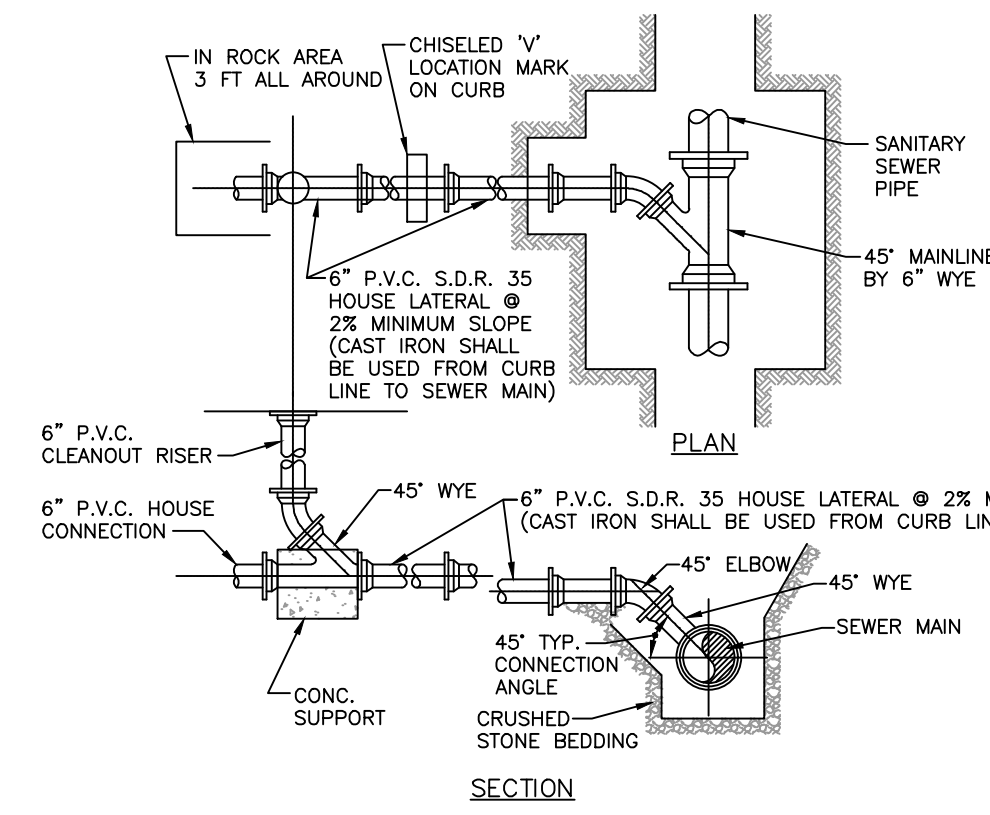
*John A. Loch*  
John A. Loch, P.L.S.  
N.J. Lic. No. 35853

  
Perry E. Frenzel, P.E.  
N.J. Lic. No. 28190

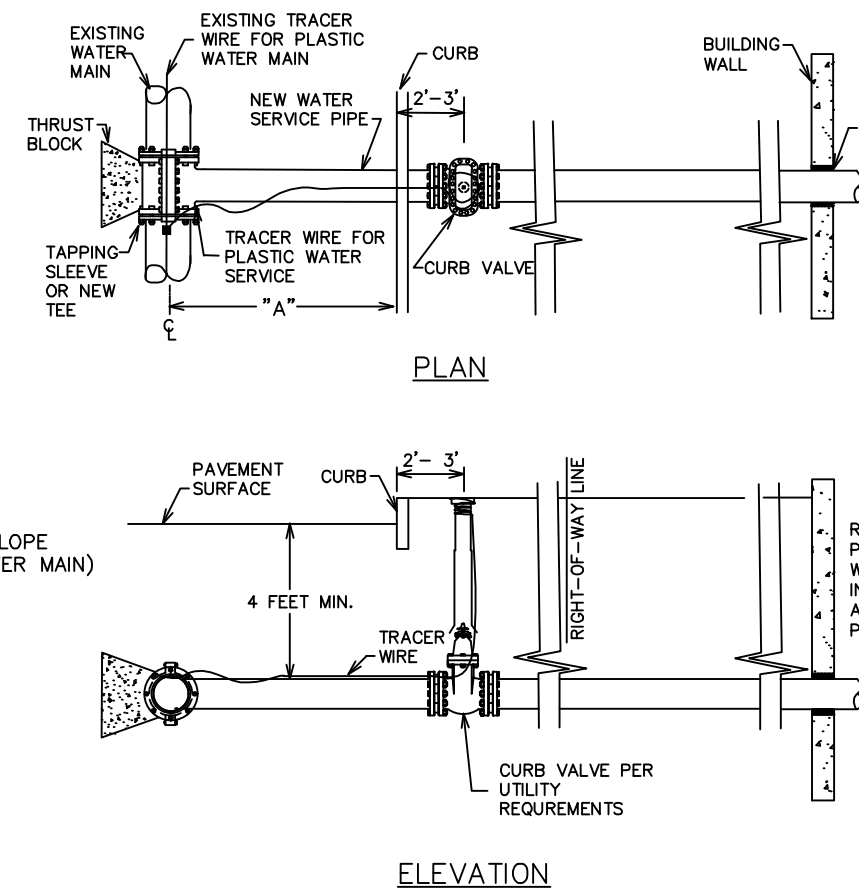
Date: 4-20-21 Drawn By: CDD Checked By: PEF

Scale: 1" = 20'                      Dwg. No. 1 of 2                      Job No.: 12061

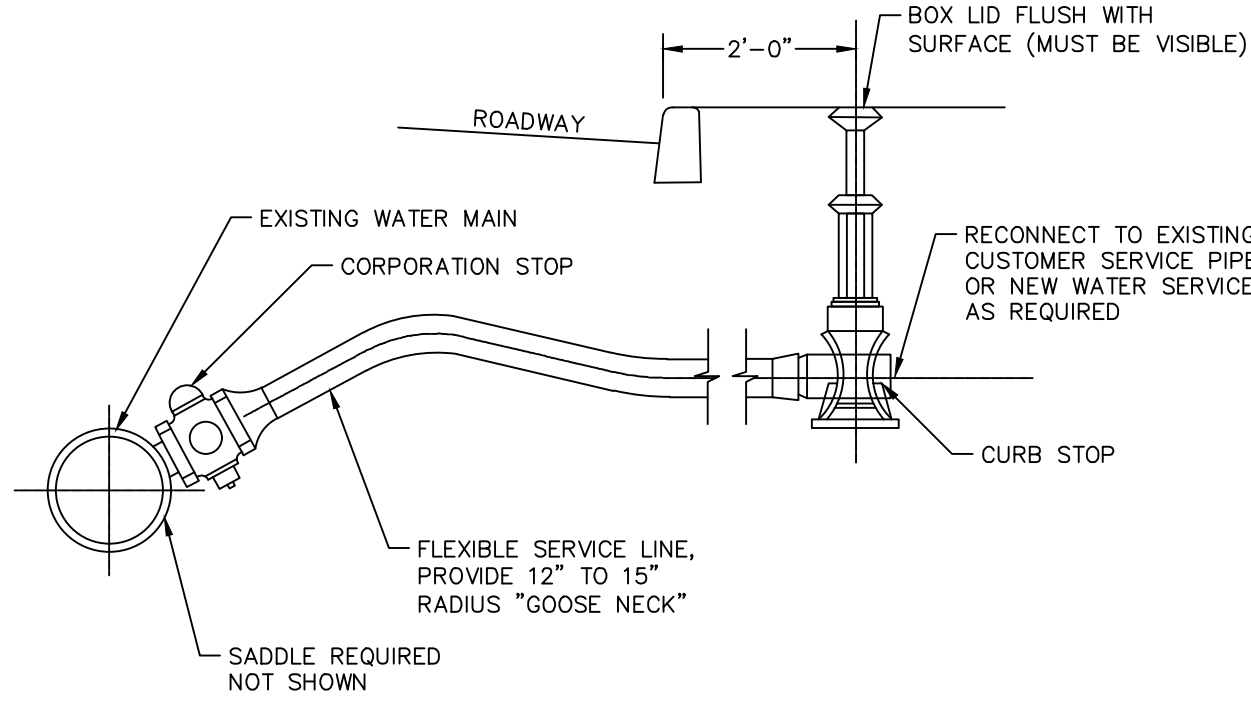




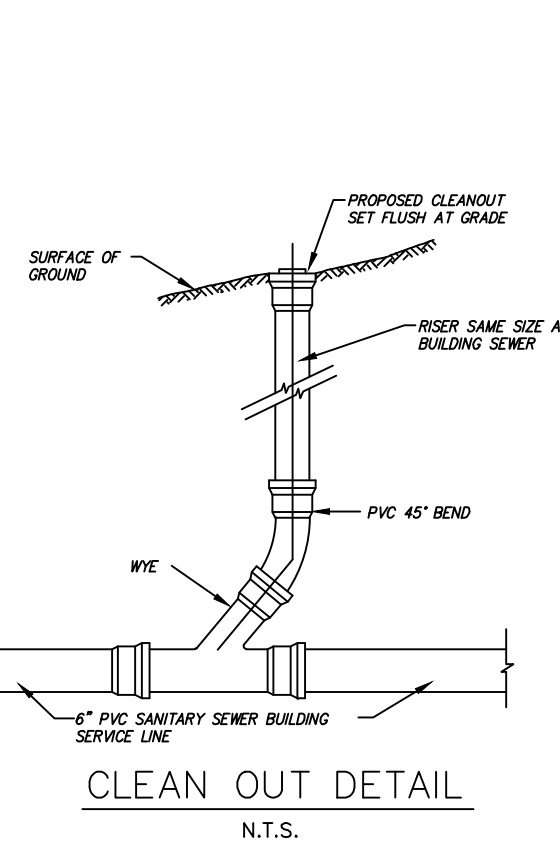
STANDARD BUILDING SEWER DETAIL  
N.T.S.



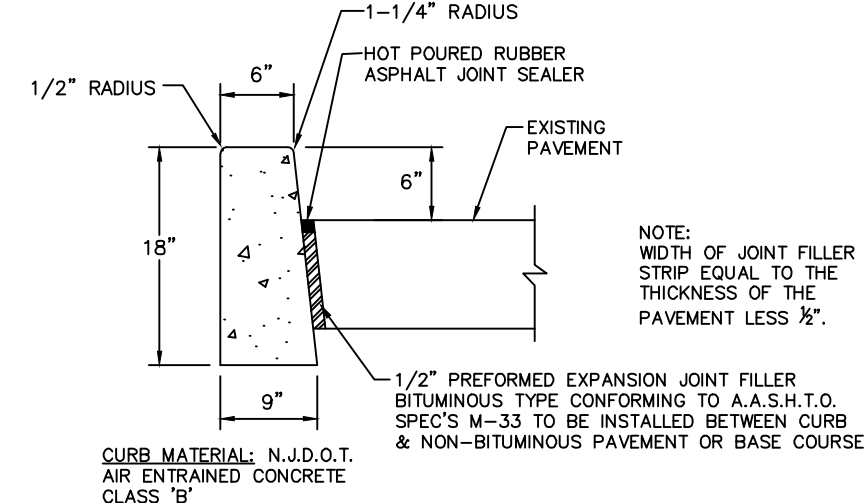
WATER SERVICE CONNECTION DETAIL  
N.T.S.



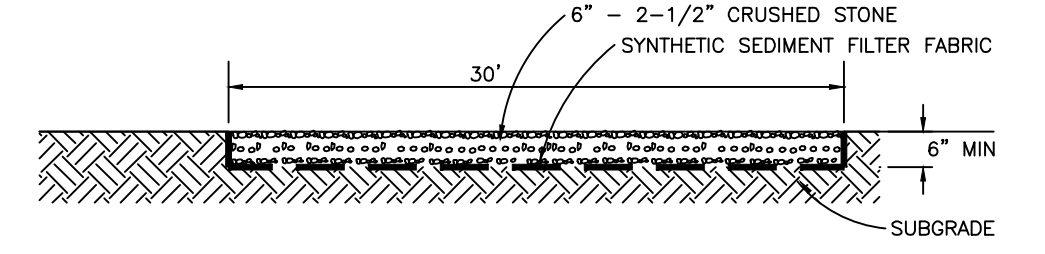
WATER SERVICE CONNECTION DETAIL  
N.T.S.



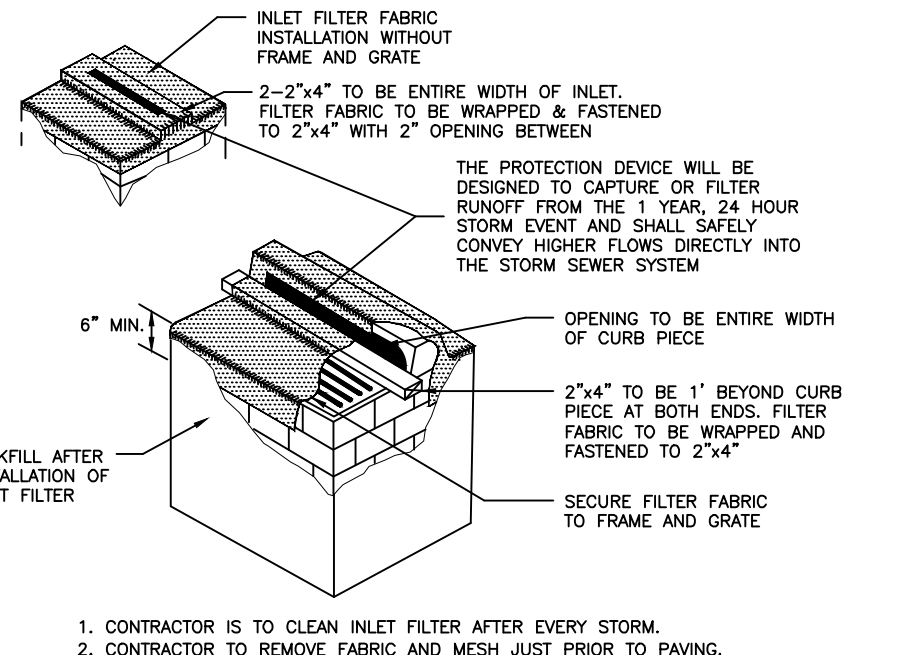
CLEAN OUT DETAIL  
N.T.S.



6"x9"x18" CONCRETE CURB DETAIL  
N.T.S.



CONSTRUCTION ACCESS DETAIL  
N.T.S.



INLET FILTER DETAIL  
N.T.S.



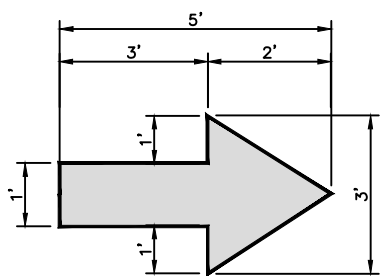
R6-1R  
36"x12"



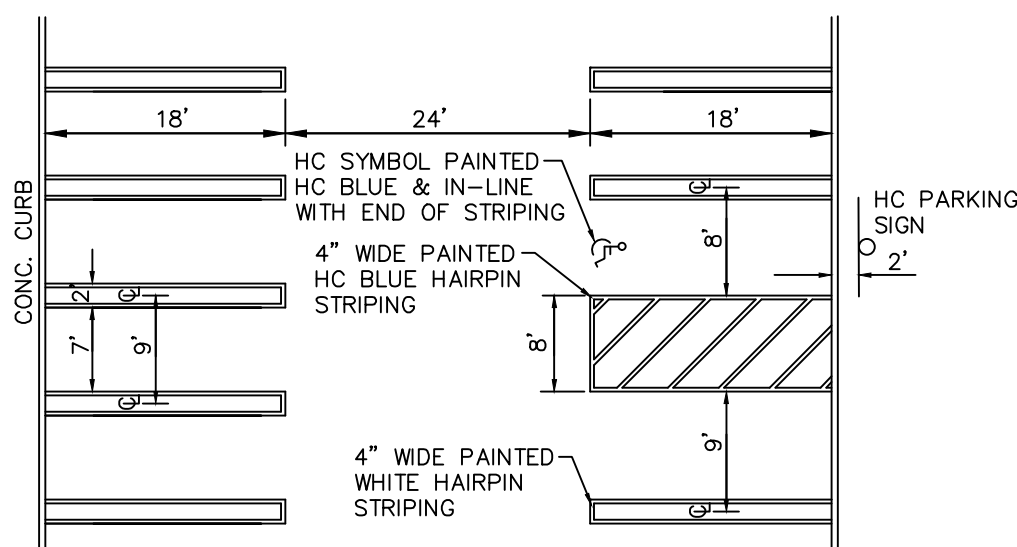
STOP SIGN DETAIL  
N.T.S.



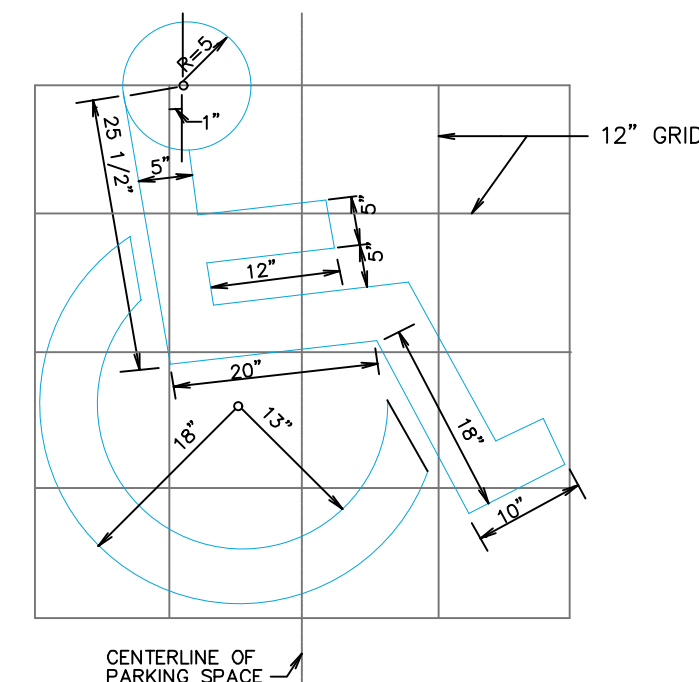
R5-1  
30"x30"



ARROW DETAIL (WHITE)  
N.T.S.



PARKING STALL STRIPING DETAIL  
N.T.S.



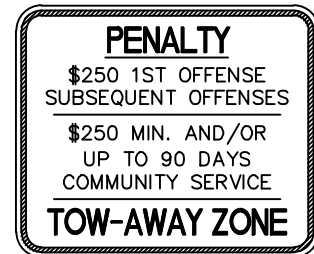
HANDICAP PARKING SYMBOL  
N.T.S.



R7-8  
12"x18"

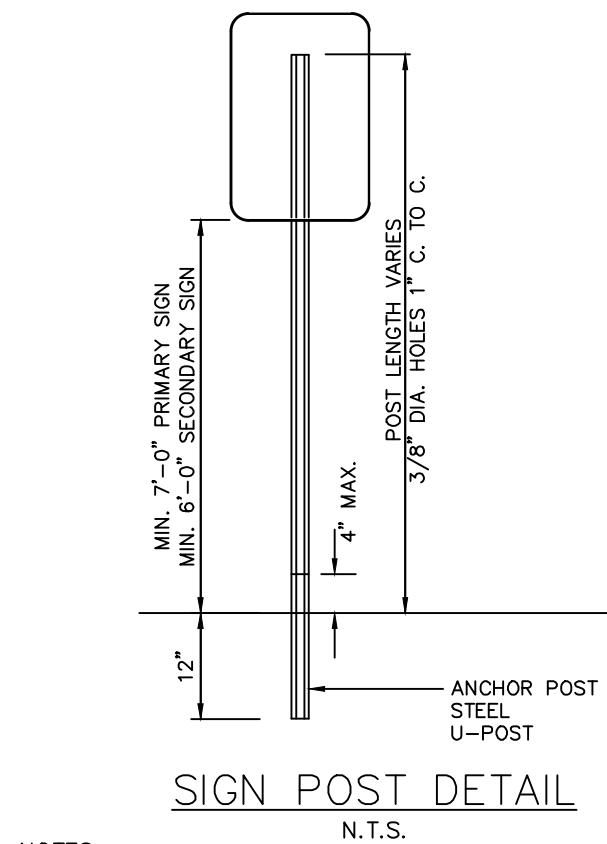


R7-8a  
12"x6"



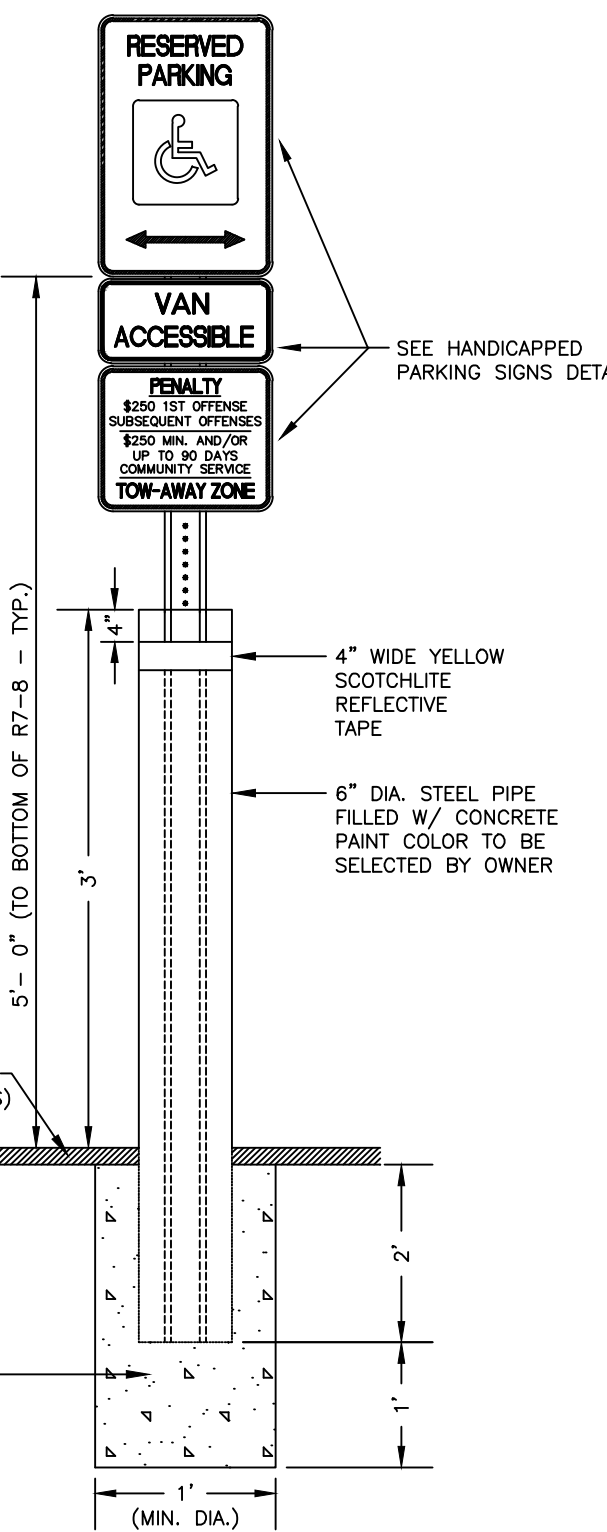
R7-8p  
10"x12"

HANDICAPPED PARKING SIGNS  
N.T.S.

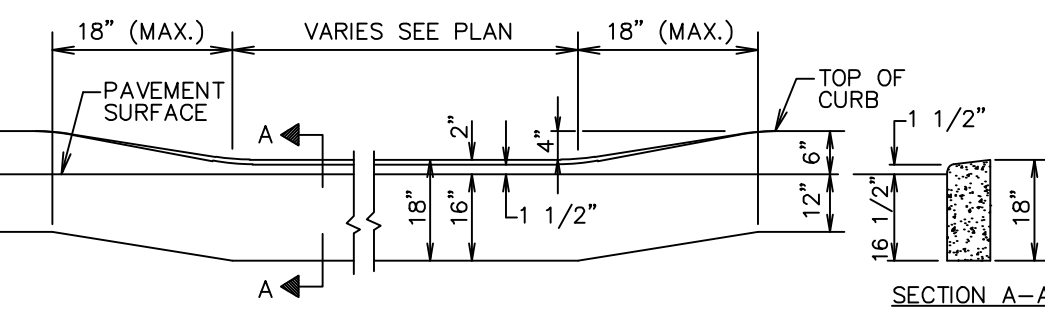


SIGN POST DETAIL  
N.T.S.

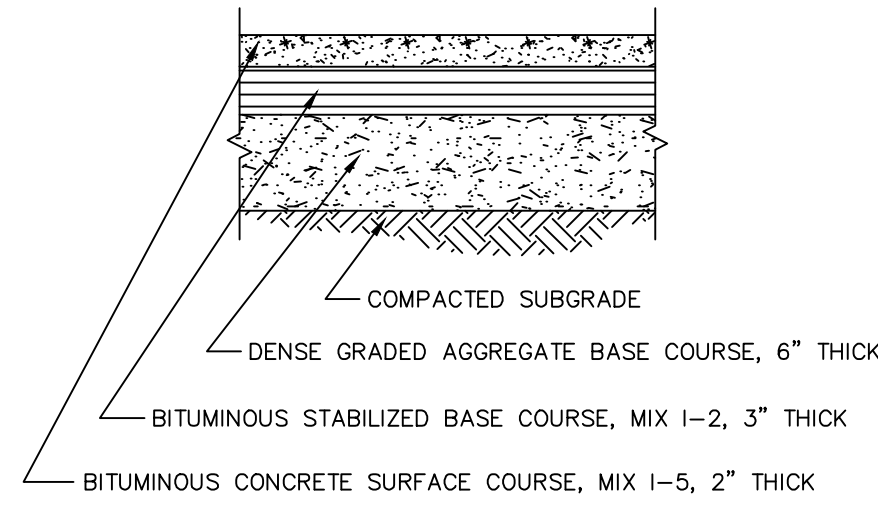
- NOTES:
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
  - ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH ASTM A123.
  - INSTALLATION, DIMENSIONS, COLOR AND DETAILS OF VARIOUS SIGN SIZES, SHIELDS AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".



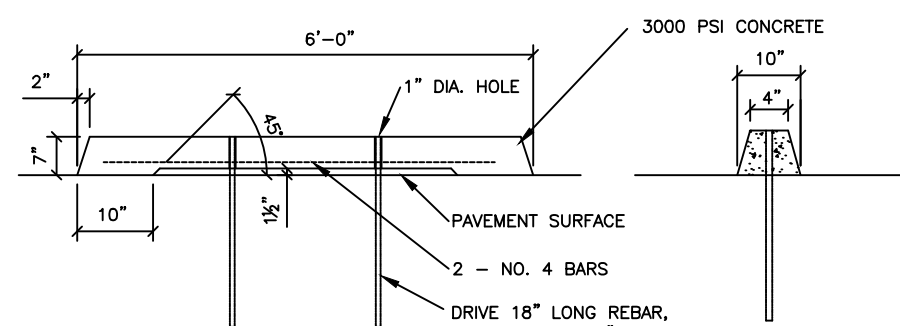
RESTRICTED PARKING SIGN MOUNTING DETAIL  
N.T.S.



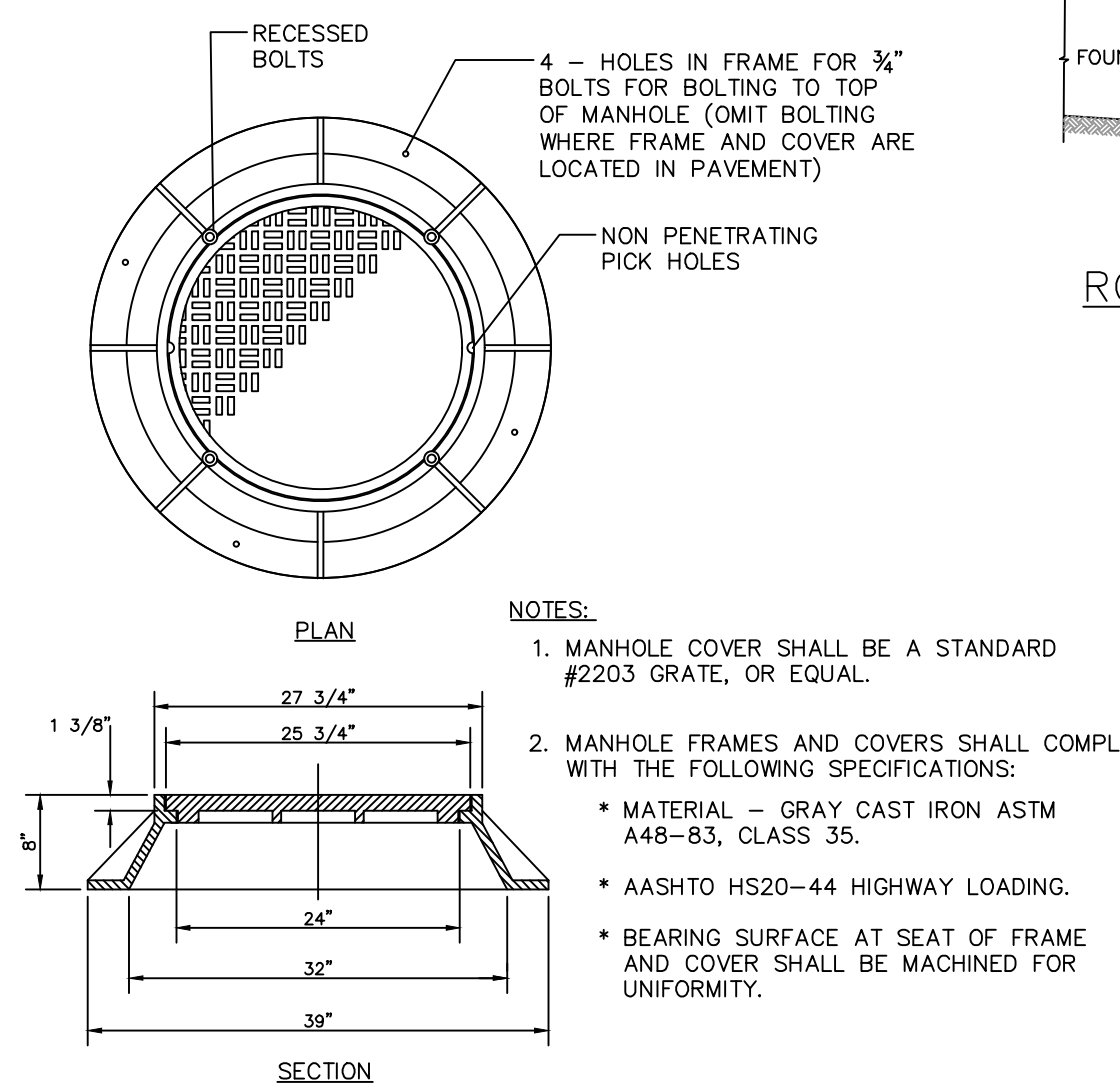
DEPRESSED CURB AT DRIVEWAYS DETAIL  
N.T.S.



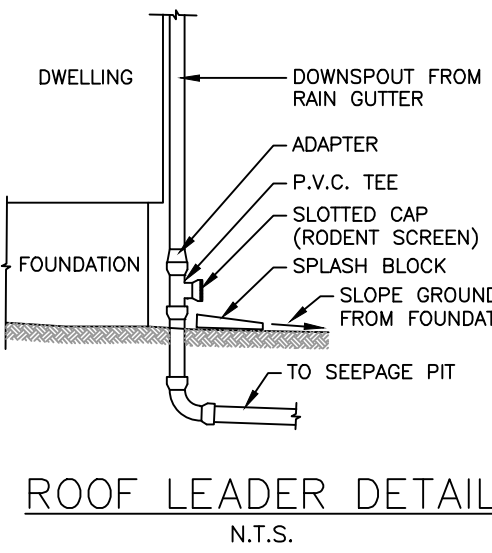
ASPHALT PAVEMENT DETAIL  
N.T.S.



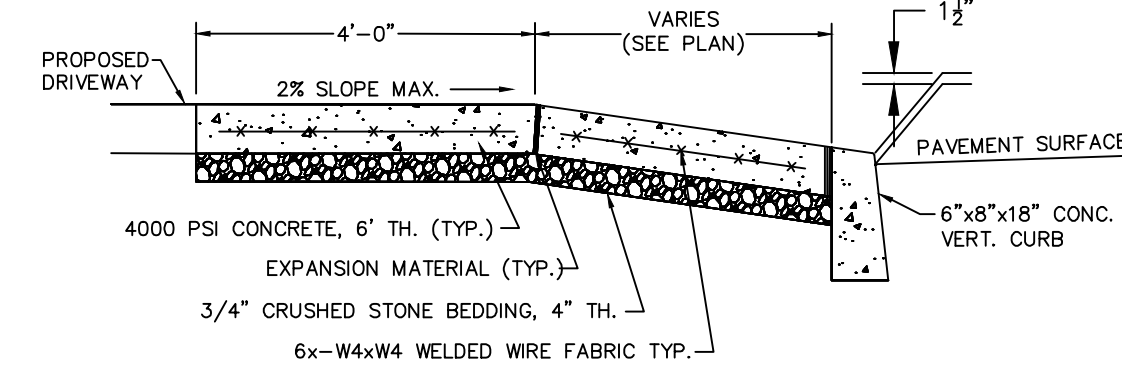
CONCRETE WHEEL STOP DETAIL  
N.T.S.



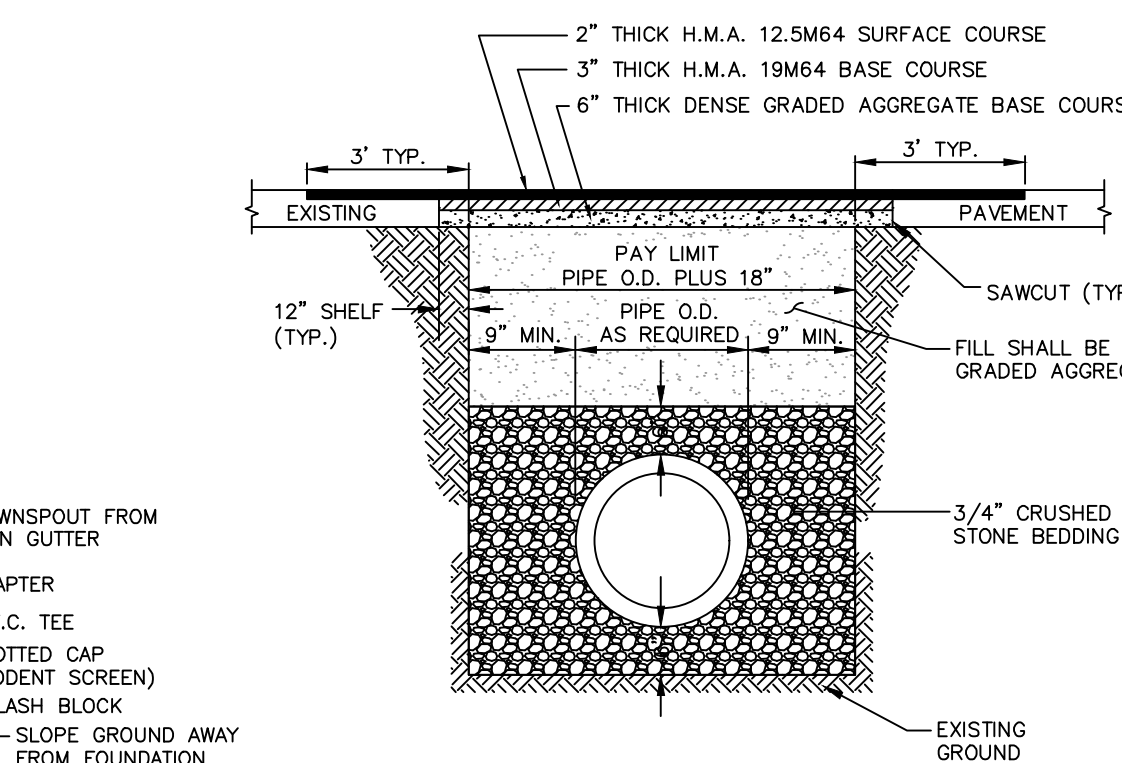
DETAIL OF STANDARD MANHOLE FRAME AND GRATE MODEL 2203  
N.T.S.



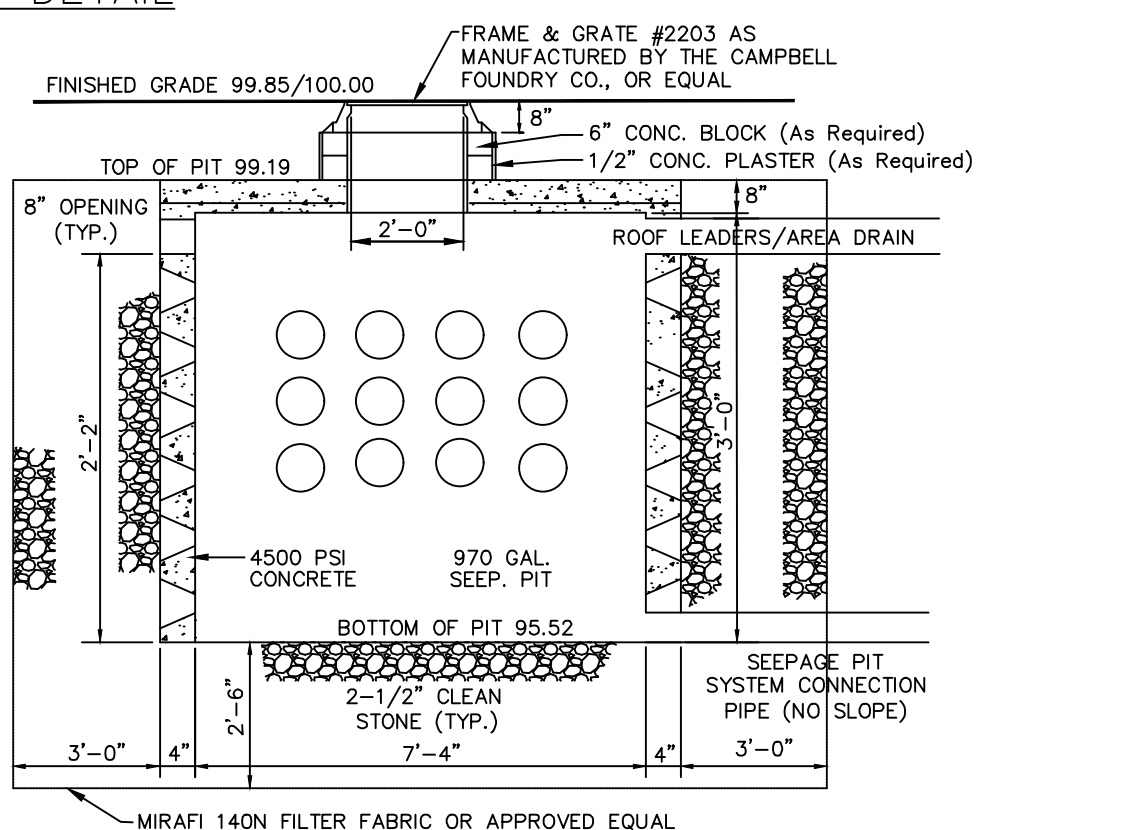
ROOF LEADER DETAIL  
N.T.S.



DRIVEWAY APRON DETAIL  
N.T.S.

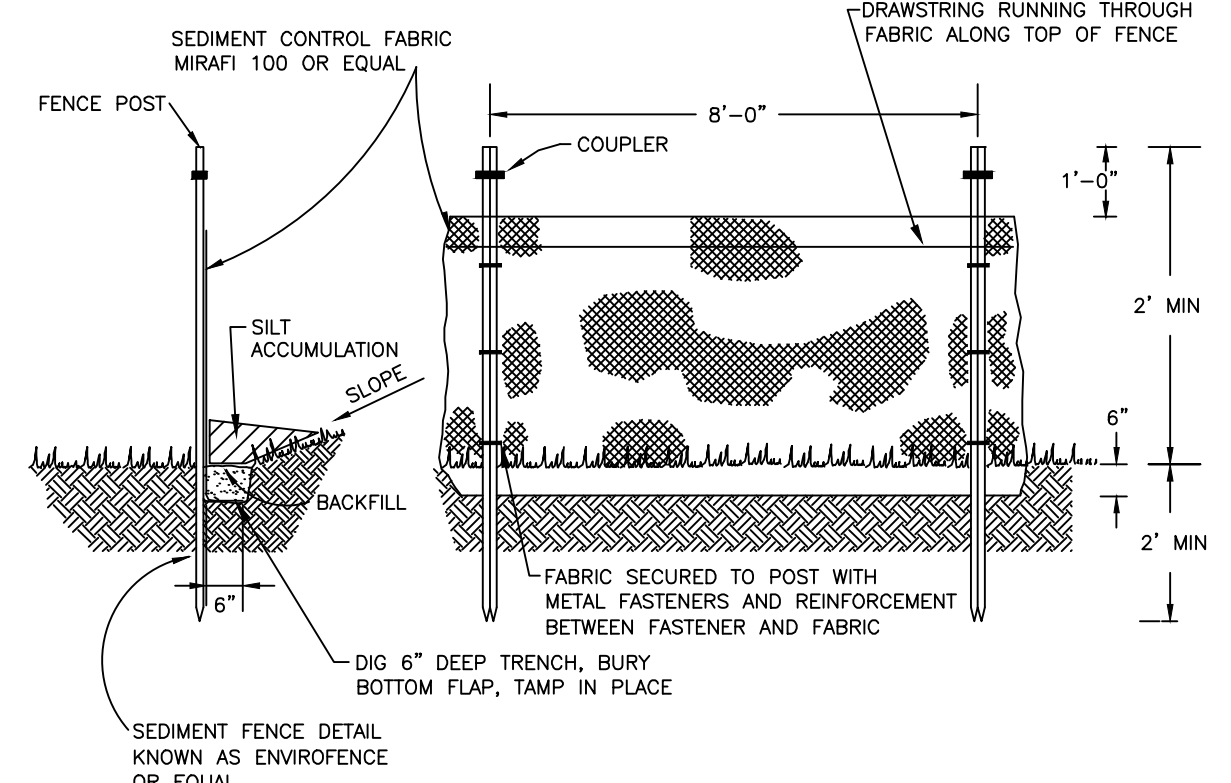


DRIVEWAY APRON & SIDEWALK DETAIL  
N.T.S.

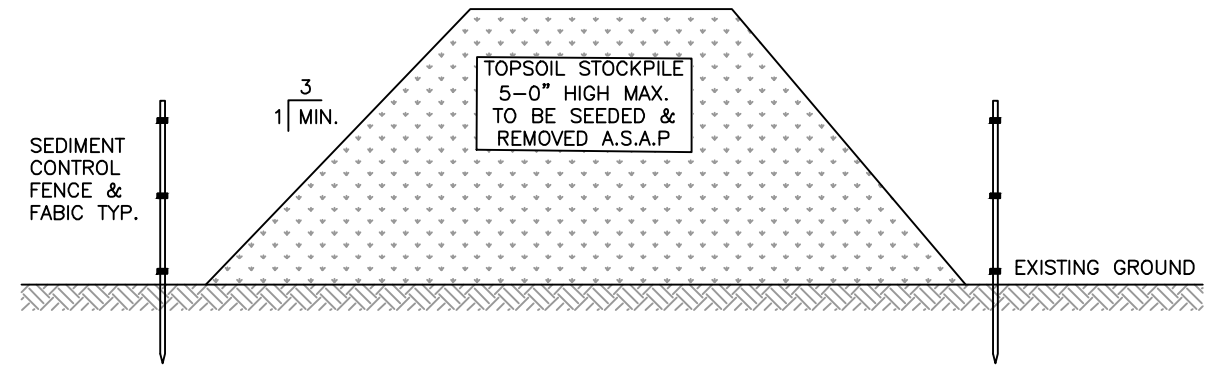


3'-8" HIGH x 8' DIA. SEEPAGE PIT  
(AS BUILT BY PEERLESS)  
N.T.S.

NOTE: UNIT SHALL BE HS-20 LOAD RATED.



SEEDIMENT FENCE DETAIL  
N.T.S.



TOPSOIL STOCKPILE DETAIL  
N.T.S.

- NOTES:
- REFER TO STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY 3.9.1
  - SILT FENCE PROTECTION INSTALLED AROUND STOCKPILE AS PER "SEDIMENT FENCE DETAIL".

Date: 5-11-21	Description: Per Revised Architectural Plans	Check By: PEF
<p><b>CONSTRUCTION DETAILS</b></p> <p>Prepared For</p> <p><b>203 MAIN STREET PROPERTY LLC</b></p> <p>203 MAIN STREET Block 1304 - Lot 5 Borough of New Milford Bergen County New Jersey</p>		
<p><b>Azzolina &amp; Feury Engineering Inc.</b> PROFESSIONAL ENGINEERS AND LAND SURVEYORS</p> <p>30 Madison Avenue, Paramus, NJ 07652 - (201) 845-5500 - Fax (201) 845-5825 110 Stage Road, Monroe, NY 10950 - (845) 782-5681 - Fax (845) 782-4212</p> <p>N.J. CERTIFICATE OF AUTHORIZATION 24GA28003600</p>		
<p><b>Perry E. Frenzel, P.E.</b> N.J. Lic. No. 28190</p>		
Date: 4-20-21	Drawn By: CDD	Checked By: PEF
Scale: Not To Scale	Dwg. No. 2 of 2	Job No.: 12061





**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

RELEASE STATUS OF THIS DRAWING

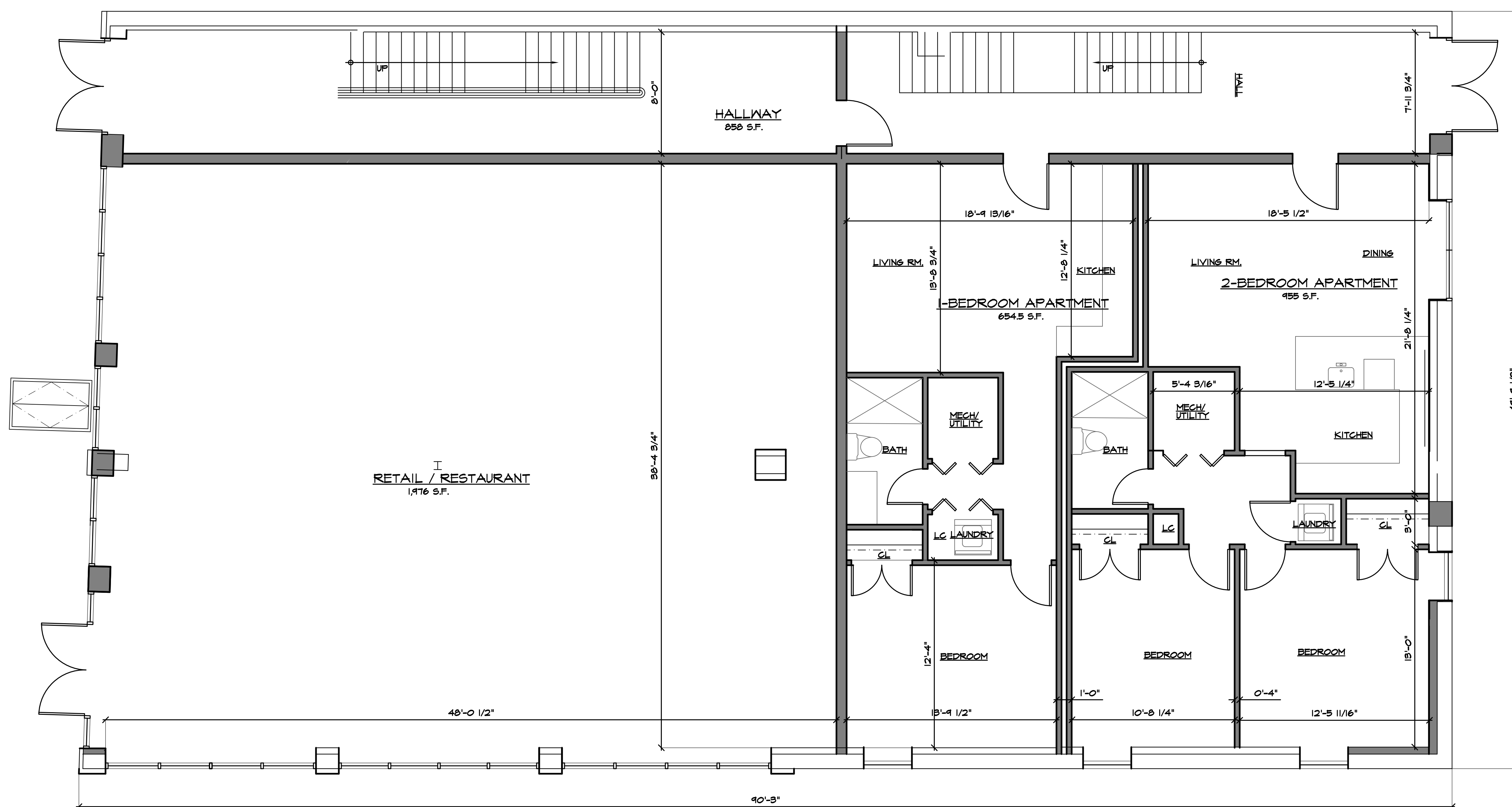
- ☐ PRELIMINARY DRAWING
- ☐ PROGRESS PRINT
- ☐ PARTIAL RELEASE
- ☐ FULL RELEASE

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

NO.	DATE	REVISIONS	BY
5.19.21		ZBA SUBMITTAL	CRC

PROJECT:  
PROPOSED PRELIMINARY DRAWINGS FOR:  
**203 MAIN STREET**  
203 MAIN STREET  
NEW MILFORD, NEW JERSEY

Drawings:	PROPOSED ELEVATIONS	
Date: 5.4.21	<div style="border: 1px solid black; padding: 5px; text-align: center;"> <b>A-1</b> OF 3 </div>	N.J. REG. NUMBER 08930
Scale: AS NOTED		
Comm. No: 21011		
Drawn By: K.P.S.		THOMAS R. CANZANI



### FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

RETAIL/RESTAURANT: 1,976 S.F.

I-BED APARTMENT: 654.5 S.F.

2-BED APARTMENT: 955 S.F.

HALL:	858.0 S.F.
<hr/>	
TOTAL 1st FLOOR AREA :	4,443.5 S.F.

RELEASE STATUS OF THIS DRAWING

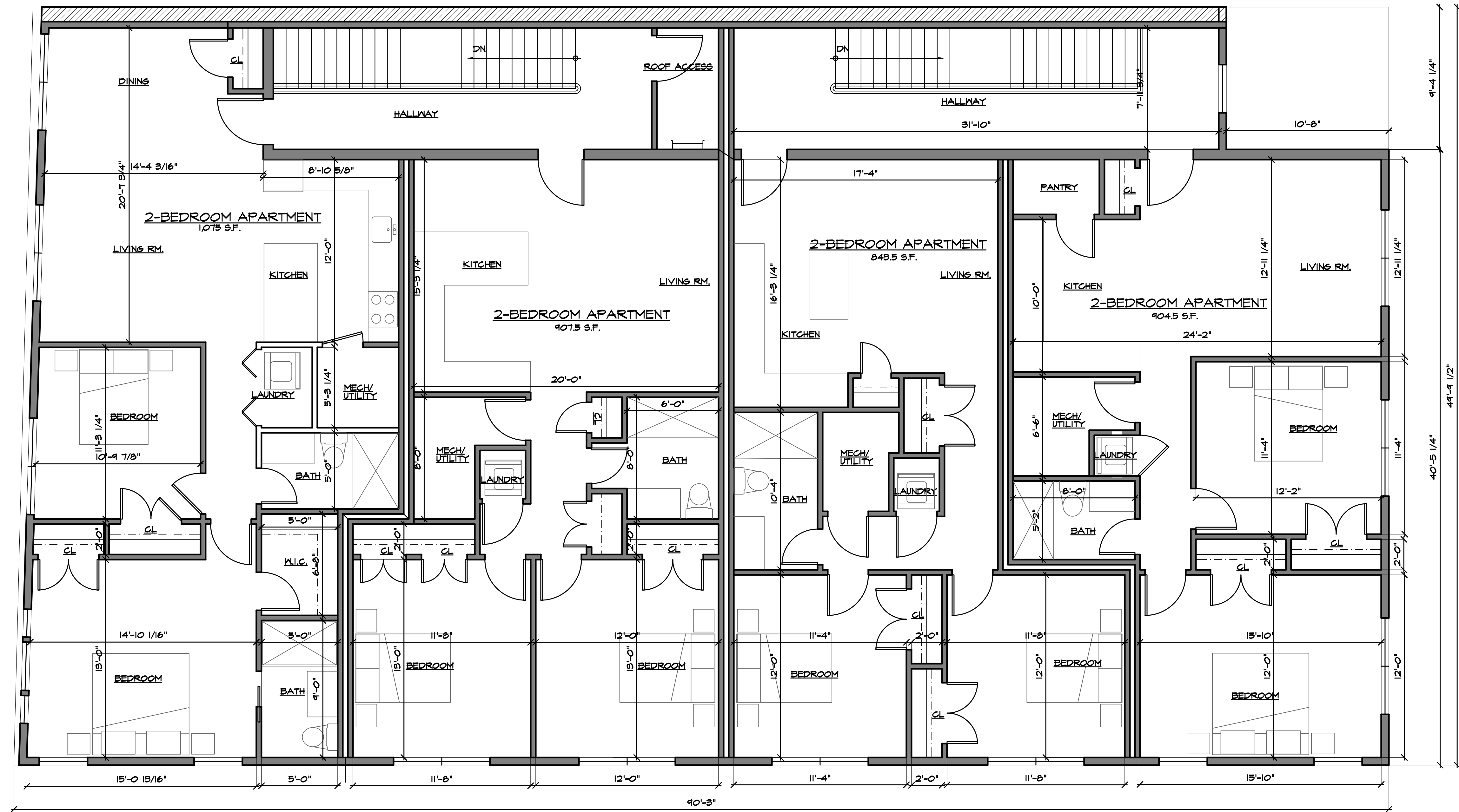
- ☐ PRELIMINARY DRAWING  
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☐ PARTIAL RELEASE  
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	5.19.21	ZBA SUBMITTAL	GRO
NO.	DATE	REVISIONS	BY

PROJECT:  
PROPOSED PRELIMINARY DRAWINGS FOR  
**203 MAIN STREET**  
203 MAIN STREET  
NEW MILFORD, NEW JERSEY

Drawings:	PROPOSED PLANS	
Date: 5.4.21		N.J. REG. NUMBER 08830
Scale: AS NOTED		A-2
Comm. No: 21011		
Drawn By: K.P.S.		
THOMAS R. CANZANI		OF 3



**SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"	
<b>FRONT</b>	
2-BED APARTMENT:	1,075 S.F.
2-BED APARTMENT:	907.5 S.F.
HALL:	291.0 S.F.
TOTAL :	2,273.5 S.F.
TOTAL 2ND FLOOR AREA :	
<b>REAR</b>	
2-BED APARTMENT:	843.5 S.F.
2-BED APARTMENT:	904.5 S.F.
HALL:	318.0 S.F.
TOTAL :	2,066 S.F.
TOTAL 2ND FLOOR AREA :	
4,339.5 S.F.	

RELEASE STATUS OF THIS DRAWING

- ☐ PRELIMINARY DRAWING
- ☐ PROGRESS PRINT
- ☐ PARTIAL RELEASE
- ☐ FULL RELEASE

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NO.	DATE	REVISIONS	BY
	5/19/21	ZBA SUBMITTAL	CRC

PROJECT:  
PROPOSED PRELIMINARY DRAWINGS FOR:  
**203 MAIN STREET**  
203 MAIN STREET  
NEW MILFORD, NEW JERSEY

Drawings:	PROPOSED PLANS	
Date: 5.4.21		N.J. REG. NUMBER 08930
Scale: AS NOTED		<b>A-3</b> OF 3
Comm. No: 21011		
Drawn By: K.P.S.		
THOMAS R. CANZANI		