

**GENERAL NOTES**

- BOUNDARY INFORMATION AND TOPOGRAPHIC INFORMATION SHOWN HEREON PREPARED BY OMLAND & OSTERKORN, INC. IN OCTOBER 2020. ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- THE INTENTION OF THIS PLAN IS TO SHOW THE PROPOSED ADDITION, GRADING OF YARD, REAR YARD PATIO.
- REFER TO ARCHITECTURAL PLANS PREPARED BY WELTZ MOLINARI ARCHITECTURE DATE 10/14/20 FOR DWELLING IMPROVEMENT.
- THE ENGINEER SIGNING THIS PLAN IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE PRESENCE OR ABSENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED BY THE FACT THAT NO EVIDENCE OF WETLANDS OR WETLAND TRANSITION AREAS (BUFFERS) ARE SHOWN ON THIS PLAN.
- LOCATIONS OF UTILITIES ARE APPROX. CONTRACTOR SHALL VERIFY EXACT LOCATION IN FIELD WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE OWNER SHALL PROVIDE A COPY OF ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH THE TERMS AND CONDITIONS OF ALL PERMITS, APPROVALS AND AUTHORIZATIONS ISSUED BY THE VARIOUS REGULATORY AUTHORITIES FOR THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONFIRMING WITH THE ENGINEER THAT THE PERMITS AND APPROVALS PROVIDED BY THE OWNER IS COMPLETE.
- ANY OMISSIONS IN THE STANDARD DETAILS OR LACK OF INFORMATION MUST BE BROUGHT TO THE ATTENTION OF OMLAND & OSTERKORN PRIOR TO CONSTRUCTION.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL SOIL CONSERVATION DISTRICT'S REQUIREMENTS. THE APPLICANT SHALL INSTALL AND MAINTAIN SILT FENCE FOR THE DURATION OF CONSTRUCTION ACTIVITIES AT THE DOWN-GRADE EDGE OF THE LIMIT OF DISTURBANCE. THE LIMIT OF DISTURBANCE IS UNDER 5,000 SQUARE FEET THEREFORE SE5C CERTIFICATION IS NOT REQUIRED.
- ALL AREAS BEING GRADED AND WHERE SOIL IS BEING SPREAD ACROSS THE YARD SHALL BE TOP SOILED AND SEEDED IMMEDIATELY FOLLOWING GRADING OPERATIONS.
- CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS REGARDING SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO SOIL CHARACTERISTICS, AS WELL AS DEPTH TO ROCK AND GROUNDWATER. THE DESIGN ENGINEER WAS NOT CONTRACTED TO MAKE ANY SUCH DETERMINATIONS.
- SURFACE RUNOFF DURING CONSTRUCTION WILL BE MAINTAINED THROUGH THE USE OF SILT FENCE.
- THERE SHALL BE NO ADVERSE IMPACT ON ADJACENT NEIGHBORS.
- ALL ROOF LEADERS SHALL BE INSTALLED WITH 2 FEET MINIMUM COVER AT 2% MINIMUM SLOPE AND SHALL CONNECT TO SEEPAGE PIT.
- ALL EXISTING UTILITIES TO BE MAINTAINED AND USED.

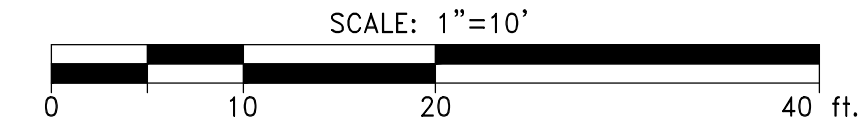
**ZONING TABLE**

BLOCK 205, LOT 3 ZONE: RESIDENTIAL A ZONE  
 EXISTING USE: 2-STORY SINGLE-FAMILY DWELLING  
 PROPOSED USE: 2-STORY SINGLE-FAMILY DWELLING (RENOVATIONS AND ADDITIONS PROPOSED TO EXISTING DWELLING)

ITEM	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	7,500 S.F.	8,225 S.F.	NO CHANGE
Min. Lot Width	75 Ft. Average	102.57 FL.	NO CHANGE
Min. Lot Depth	N/A	67.61 Ft.	NO CHANGE
Min. Front Yard Setback (Korfitsen Road)	30 Ft.	30.6 Ft.	28.2 Ft. (V)
Min. Rear Yard Setback	20 Ft.	12.6 Ft. (E)	11.9 Ft. (V)
Min. Side Yard Setback (One Side)	10 Ft.	10 Ft.	10 Ft.
Min. Side Yard Setback (Lee Place)	30 Ft.	30.4 Ft.	NO CHANGE
Max. Building Height	2½ Stories and 30 Ft.	2 Stories and 28 Ft. ±	2 Stories and 29.8 Ft. ±
Max. Building Coverage	20% (1,645 S.F.)	16.6% (1,366 S.F.)	23.0% (1,891 S.F.) (V)
Max. Impervious Coverage	40% (3,290 S.F.)	30.9% (2,539 S.F.)	40% (3,289 S.F.)

(E) Pre existing non conformity  
 (V) Variance Requested  
 Additional Variance Requested - Change grade around dwelling by more than 2 feet

**EXISTING CONDITIONS / DEMOLITION PLAN**



**PLOT PLAN**

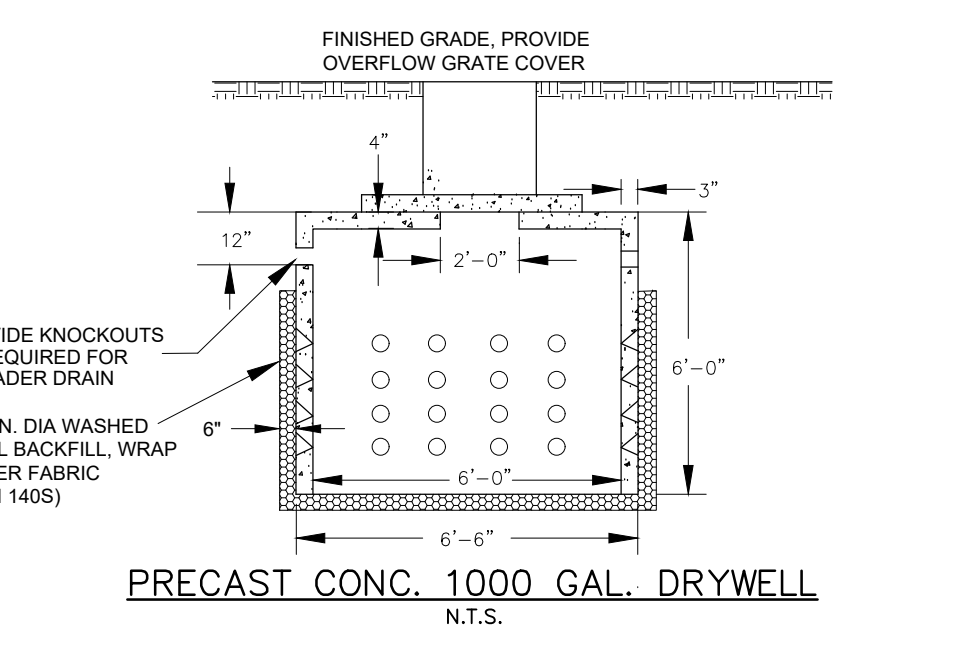
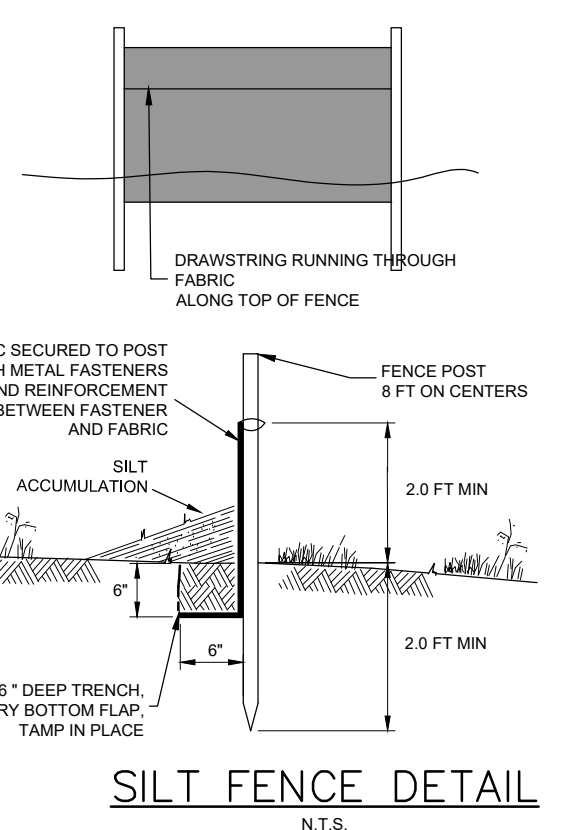
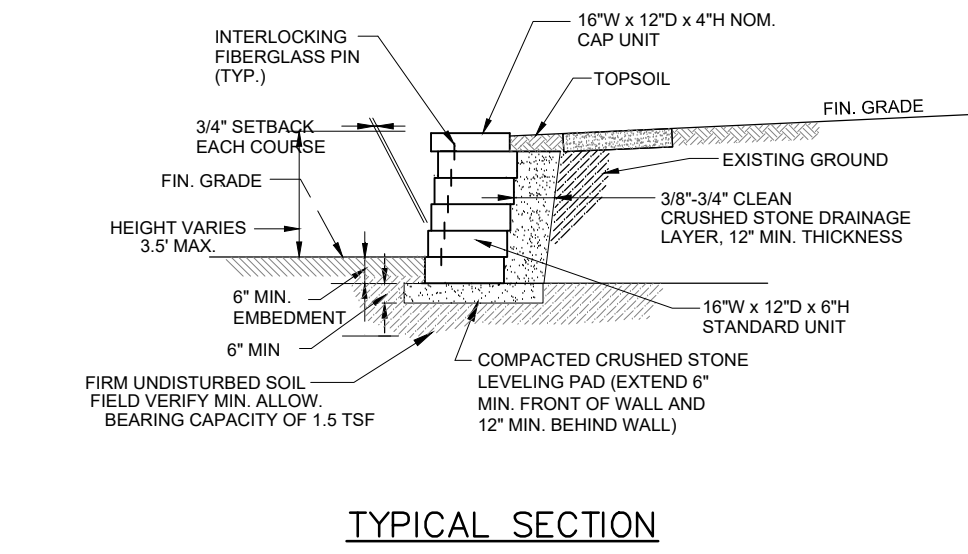
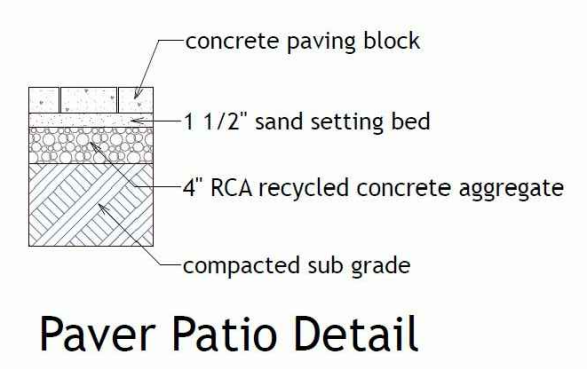
**COVERAGE TABLE - ZONE RESIDENTIAL A BLOCK 205, LOT 3**

TOTAL LOT AREA	8,225 SF
MAX. ALLOWED BUILDING COVERAGE (20%)	1,645 SF
MAX. ALLOWED IMPERVIOUS COVERAGE (40%)	3,290 SF

Description	Existing Coverages		Description	Proposed Coverages	
	Area (SF)	Percentage		Area (SF)	Percentage
Dwelling (includes front bldg overhang and covered stoop/porch)	1,366		Dwelling (includes front bldg overhang and covered stoop/porch)	1,891	
<b>Total Building Coverage</b>	<b>1,366</b>	<b>16.6%</b>	<b>Total Building Coverage</b>	<b>1,891</b>	<b>23.0%</b>
Driveway	603		Driveway	669	
Front Walkway and Stair	210		Front Walkway and Stair	210	
A/C Unit Concrete Pads	13		Side Walkway	58	
Rear Wood Deck and Stairs	242		A/C Unit Concrete Pads	31	
Side Concrete Walkway	105		Rear Concrete Landing and Stairs	45	
			Rear Patio	385	
<b>Total Impervious Coverage</b>	<b>2,539</b>	<b>30.9%</b>	<b>Total Impervious Coverage</b>	<b>3,289</b>	<b>40.0%</b>
			<b>Increase in Impervious Coverage</b>	<b>750</b>	

**SOIL MOVEMENT CALCULATION:**

Cut for basement - 90 CY  
 Fill for driveway and yard - 90 CY  
 Cut + Fill = 180 CY  
 All soil to remain on site, site is balanced.



**SEEPAGE PIT DESIGN CALCULATOR**  
 2 inches over new impervious

**AREA CONTRIBUTING TO SEEPAGE PIT**  
 1891 S.F.

**VOLUME REQUIRED**  
 315 C.F.

**VOLUME CAPACITY OF SEEPAGE PIT**

**TANK VOLUME FOR A STANDARD 1,000 GALL. TANK**

V Tank = (pi) (6' / 4) (Depth)  
 V Tank = 160 C.F.

**STONE VOLUME**

Volume of excavation: 10.5' x 10.5' x 6' = 661 C.F.  
 Less Volume of Tank = 160 C.F.  
 Net Volume of Stone = 501 C.F.

**STONE VOLUME TOTAL ASSUMING 40% VOIDS**  
 V Stone = 0.40 (501) = 200 C.F.

**TOTAL SEEPAGE PIT VOLUME**  
 V Pit = V Tank + V Stone = 369

**VOLUME PROPOSED (C.F.)** 369 > **VOLUME REQUIRED (C.F.)** 315  
 SYSTEM IS O.K.

PROJ: 210113 DATE: 02/12/21  
 OMLAND & OSTERKORN, INC. CONSULTING ENGINEERS & SURVEYORS  
 1102 KORFITSEN ROAD / PLOT PLAN / DEMOLITION PLAN / PLOT PLAN / CONSTRUCTION DETAILS  
 TAX MAP BLOCK 205, LOT 3  
 BOROUGH OF NEW MILFORD, BERGEN COUNTY, NEW JERSEY  
 SHEET No. 1 OF 1