

PROPOSED NEW PORTICO AT: THE PARLAPANIDES RESIDENCE

618 MCCARTHY DRIVE
BOROUGH OF NEW MILFORD,NEW JERSEY

CODE NOTES

PLAN REVIEW AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE N.J.U.C.C. SUBCHAPTER 6.2 REHABILITATION SUBCODE (ADDITION/ALTERATION) AND APPLICABLE SECTIONS OF THE 2018 IRC NEW JERSEY EDITION CODE INCLUDING ANY/ ALL AMENDMENTS.

CONSTRUCTION PERMIT APPLICATION

BUILDING/SITE CHARACTERISTICS		
NUMBER OF STORIES	1.5 STORIES	(NO CHANGE)
HEIGHT OF STRUCTURE	N/A	(NO CHANGE)
NEW LIVING AREA	0 SF	(NO CHANGE)
NEW GROSS VOLUME (ADDITIONAL)	0 C.F.	(NO CHANGE)
CONSTRUCTION CLASSIFICATION	TYPE VB	

DESCRIPTION OF BUILDING USE
USE GROUP R-5 SINGLE FAMILY RESIDENTIAL

DESIGN LOADS ARE AS FOLLOWS PER SF

LOCATION	LIVE	DEAD	DEFLECT LIMIT*
FLOORS (HARDWOOD, CARPET)	40 LBS	10 LBS	LL L/360
FLOORS TO RECEIVE TILE	40 LBS	25 LBS	LL L/480
FLOORS TO RECEIVE STONE/MARBLE	40 LBS	35 LBS	TL L/720
SLEEPING AREAS	30 LBS	10 LBS	LL L/360
ATTIC (NON-STORAGE)	10 LBS	10 LBS	LL L/240
ATTIC (STORAGE)	20 LBS	10 LBS	LL L/240
ATTIC (HABITABLE)	30 LBS	10 LBS	LL L/360
ROOF W/ FINISHED CLG	30 LBS SNOW	15 LBS	LL L/240
ROOF W/O FINISHED CLG	30 LBS SNOW	15 LBS	LL L/180

* TL = TOTAL LOAD, LL = LIVE LOAD

CODE INFORMATION

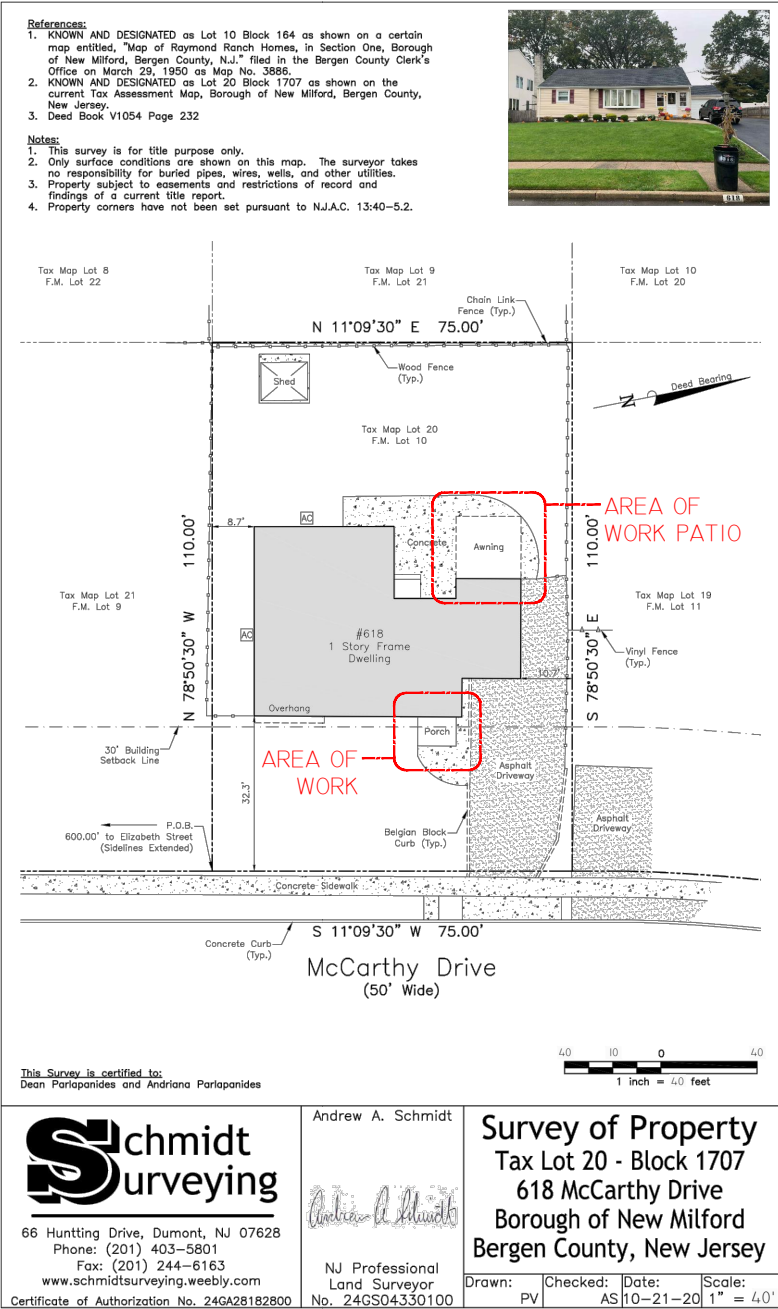
CLIMATIC DATA	
CLIMATE ZONE	5
GROUND SNOW LOAD	30 PSF
WIND SPEED	115 MPH
FROST LINE DEPTH	3'-0"

REHABILITATION SUBCODE SYNOPSIS
THIS REVIEW IS BASED ON THE REHABILITATION SUBCODE ADOPTED BY THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION INCLUDING ANY AND ALL AMENDMENTS. WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES INCLUDING AND IS NOT LIMITED TO THE INFORMATION CONTAINED WITHIN THIS REVIEW.

GENERAL CODE COMPLIANCE
IT IS UNDERSTOOD THAT THE WORK SHALL MEET ALL CODE REQUIREMENTS AND ALL CONTRACTING WORK IS HEREBY DIRECTED TO MEET THAT END. ALL WORK, MATERIALS, ASSEMBLIES, SERVICE EQUIPMENT, AND FORMS AND METHODS OF CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE MUNICIPALITY, STATE AND ALL OTHER AGENCIES WITH JURISDICTION AND AUTHORITY AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF THE UNDERWRITERS. WHERE APPLICABLE, COMPLY WITH ALL REQUIREMENTS OF THE NUCC BARRIER FREE SUBCODE AND/OR THE AMERICANS WITH DISABILITIES ACT (ADA). ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK SHALL BE INSTALLED BY LICENSED CONTRACTORS IN ACCORDANCE WITH CODES LISTED ABOVE. CONTRACTORS SHALL PROVIDE ALL NECESSARY ENGINEERING TO MEET ALL APPLICABLE CODES. CONTRACTORS SHALL FULLY COMPLY WITH ALL LOCAL STATE AND FEDERAL REQUIREMENTS AND GENERALLY ACCEPTED STANDARDS FOR THE CONSTRUCTION INDUSTRY SUCH AS, ASTM, ANSI, ADA, SMACNA, UL, ETC.

NOT PUBLISHED; ALL RIGHTS RESERVED

ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF THE UNDERWRITERS. THE DRAWING SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. CHANGES TO THE PLANS BY THE OWNER AND CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN.



EXISTING CONDITIONS SURVEY

SCALE: 1"=40'

SURVEY PROVIDED BY;
SCHMIDT SURVEYING
66 HUNTTING DRIVE
DUMONT, NJ 07628
DATED 10-21-20

BOROUGH OF NEW MILFORD

BULK ZONING REQUIREMENTS - RESIDENTIAL A/ONE-FAMILY ZONE

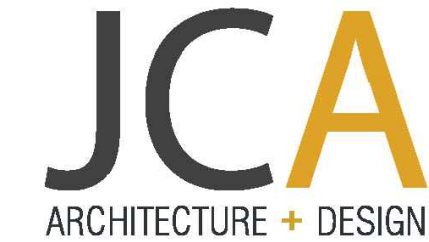
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA (SF)	7,500	8,250	NO CHANGE	-
AVERAGE LOT WIDTH (FT)	75	75	NO CHANGE	-
FRONT YARD SETBACK (FT)	31.22*	32.3	26.3**	Y
REAR YARD SETBACK (FT)	27.5	36.25	NO CHANGE	-
SIDE YARD SETBACKS (FT)	10	8.7 , 10.7	NO CHANGE	-
MAX. BUILDING COVERAGE (%)	20 (1,650 SQ/FT)	24.4 (2,009 SQ/FT)	25.0 (2,063.5 SQ/FT)	Y
MAX. IMPERVIOUS LOT COVERAGE (%)	40 (3,330 SQ/FT)	42.7 (3,526 SQ/FT)	NO CHANGE	-
MAX HEIGHT (STORIES / FT)	2 1/2 / 30	1 / ±15	NO CHANGE	-
MAX NO OF FAMILIES PER BLDG	1	1	NO CHANGE	-
MAX. DENSITY, UNITS/ACRE	-	-	-	-

*AVERAGE FRONT YARD SETBACK AS PER 'FRONT SETBACK STUDY' BY SCHMIDT SURVEYING DATED 6-5-21 (ATTACHED)

**30-28.15(E) PROJECTIONS INTO REQUIRED YARDS: GENERAL EXCEPTIONS. AN UNENCLOSED SMALL PORCH, OR COVERED PLATFORM, MAY PROJECT A MAX. DISTANCE OF FOUR FEET INTO A REQUIRED FRONT YARD SETBACK.

LIST OF DRAWINGS

A-1	COVER SHEET, SURVEY, AND ZONING CHART
A-2	PORTICO PLANS & DETAILS
A-3	COVERED PATIO PLANS
A-4	PORTICO & COVERED PATIO ELEVATIONS
A-5	ZONING CHART



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NEW PORTICO & COVERED PATIO

LOT 20; BLOCK 1707
618 MCCARTHY DRIVE
NEW MILFORD, NEW JERSEY

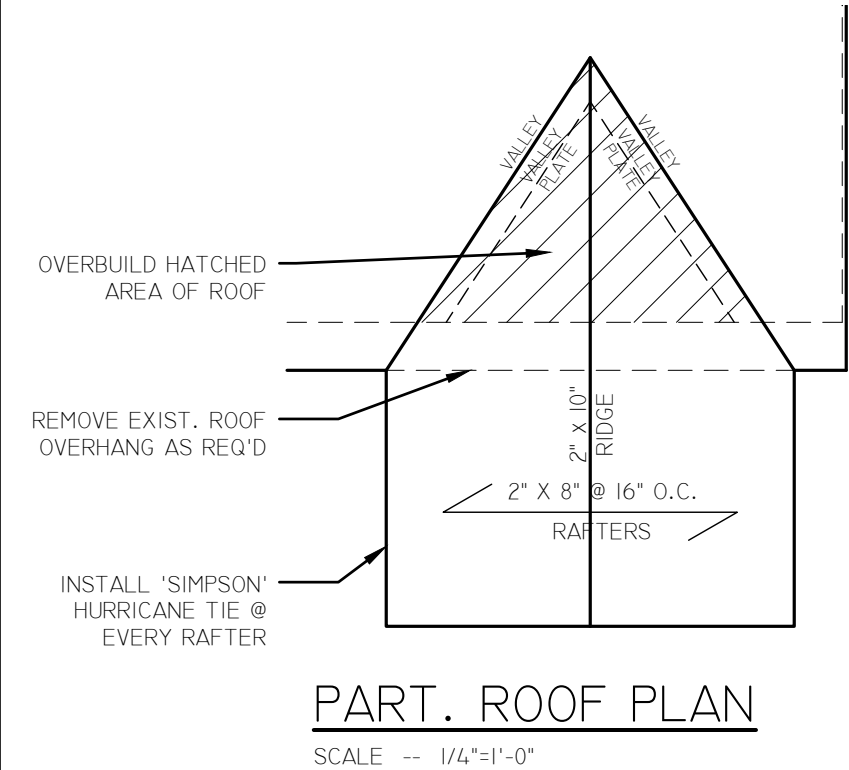
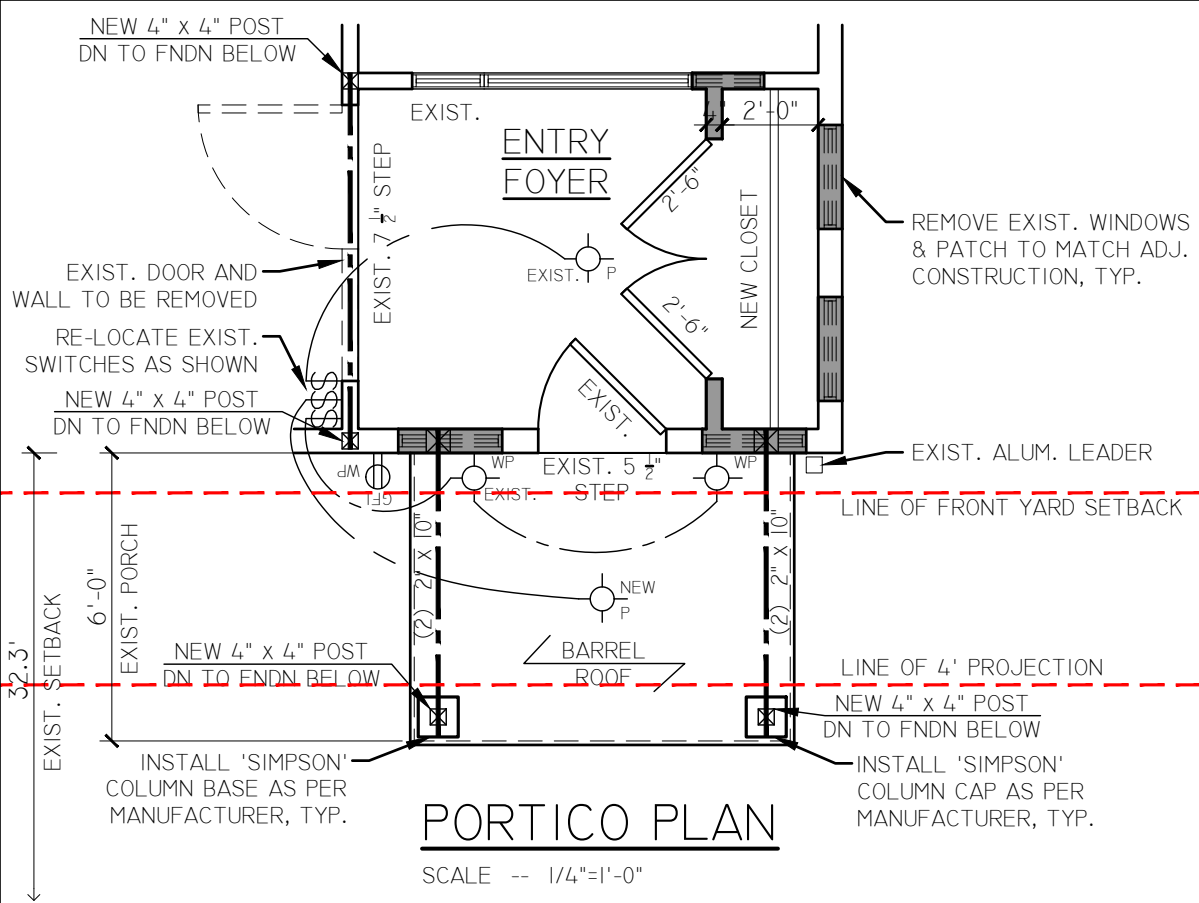
COVER SHEET, SURVEY & ZONING CHART

PROJECT NUMBER: 20.082
DRAWN BY: JC

A-1

SHEET NUMBER: 01 OF 04

SCALE: AS NOTED



- LEGEND:**
- NEW STUD WALL
 - EXISTING TO REMAIN
 - EXISTING TO BE REMOVED

GENERAL FRAMING NOTES

- GENERAL FRAMING NOTES
CONVENTIONAL FRAMING
- CONSULT FLOOR PLANS FOR JOIST SIZES, SPACING AND FOR ADDITIONAL INFORMATION.
 - WALL AND PARTITION NOTE:
 - * UNLESS NOTED OTHERWISE, ALL STUDS SHALL BE FRAMED @ 16" O.C.
 - * SHADED INTERIOR WALLS DENOTE STRUCTURAL BEARING PARTITIONS.
 - * UNSHADED INTERIOR WALLS DENOTE NON-STRUCTURAL PARTITIONS.
 - * ALL PERIMETER WALLS INCLUDING THE PERIMETER WALLS OF THE GARAGE SHALL BE CONSIDERED AS STRUCTURAL BEARING WALLS.
 - ☒ DENOTES SOLID OR BUILT UP WOOD POST. UNLESS NOTED OTHERWISE, PROVIDE 4" NOMINAL BEARING FOR FULL WIDTH OF THE MEMBER SUPPORTED (SOLID BEARING). CONTINUE POST AND/OR BLOCKING TO FOUNDATION OR SUPPORTING GIRDER BELOW. POSTS INSIDE A WALL MAY BE BUILT-UP WITH 2"x4" OR 2"x6" STUDS SPIKED TOGETHER. PROVIDE CATS TO ADJACENT STUDS SPACED @ 5'-0" MAX. FOR ISOLATED POSTS, USE A SOLID MEMBER OR BUILT-UP STUDS PER THE FOLLOWING:
 - A.- Posts shown as 4" x 4" SHALL BE TWO 2" x 4" STUDS NAILED TOGETHER WITH ONE ROW OF STAGGERED 10D COMMON WIRE NAILS, SPACED AT 6" O.C.
 - B.- 4" x 6" POSTS SHALL BE TWO 2" x 6" STUDS NAILED TOGETHER WITH ONE ROW OF STAGGERED 10D COMMON WIRE NAILS SPACED AT 6" O.C.
 - C.- 4" x 8" POSTS SHALL BE FOUR 2" x 4" STUDS. FIRST TWO STUDS GET NAILED AS A 4" x 4" POST WITH ONE ADDITIONAL STUD ON EACH SIDE FOLLOWING THE SAME NAILING PATTERN. ALTERNATE STAGGERED ROW OF NAILS TO AVOID CONFLICT.
 - FRAMING COMPONENTS AND STRUCTURAL MEMBERS SHALL BE FASTENED (MINIMUM) PER REQUIREMENTS OF TABLE R602.3 (I-2).
 - FOLLOW REQUIREMENTS OF AMERICAN FOREST & PAPER ASSOCIATION NATIONAL DESIGN STANDARDS (AF&PA NDS).
 - PROVIDE 1/2" GYPSUM WALL BOARD, 5/8" WOOD STRUCTURAL PANEL, OR EQUIVALENT ON THE UNDERSIDE OF ANY EXPOSED FLOOR FRAMING SYSTEMS. WOOD FLOOR ASSEMBLIES OF 2" x 10" (MINIMUM) OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PROTECTION DO NOT REQUIRE THIS ADDITIONAL PROTECTION. ANY SPRINKLERED AREAS DO NOT REQUIRE THIS ADDITIONAL PROTECTION.

ELEVATION NOTES

- EXISTING TO REMAIN - WHERE APPLICABLE, AND/OR FOR ADDITIONS, EXISTING EXTERIOR BUILDING COMPONENTS ARE TO REMAIN UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY OWNER.
- RIDGE VENT - NA
- FLASHING - ALL FLASHING TO BE INSTALLED TO PROVIDE A COMPLETE WEATHER-TIGHT BUILDING ENVELOPE AND TO ALLOW MOVEMENT OF ADJACENT BUILDING COMPONENTS AS REQUIRED. PROVIDE COPPER FLASHING WHERE LOCATED AT PRESERVATIVE-TREATED LUMBER. FLASHING IS TO BE INSTALLED IN THE FOLLOWING LOCATIONS
 - AT ALL CRICKETS, VALLEYS, AND INTERSECTIONS BETWEEN ROOFS AND WALLS.
 - AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS, EXCEPT AT WINDOWS WITH MINIMUM 1-1/8" SELF-FLASHING CONTINUOUS LAP.
 - AT THE INTERSECTION OF MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
 - AT KICK-OUT, OR DIVERTER, FLASHING AT WALL INTERSECTIONS.
 - AND AT OTHER LOCATIONS TO PROVIDE A DURABLE WEATHER RESISTANT INSTALLATION.
- ICE AND WATER SHIELD - NA
- FLUE EXTENSION - NA
- ROOF SLOPE NOTE - ROOF SLOPES ARE TO BE VERIFIED IN THE FIELD. THE ARCHITECT'S DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR IS TO VERIFY THAT THE OVERALL BUILDING HEIGHT DOES NOT TO EXCEED THE MAXIMUM ALLOWABLE HEIGHT PER LOCAL ORDINANCES.
- FASCIAS - ALL FASCIAS BEHIND GUTTERS SHALL BE WOOD WITH PVC COATED ALUMINUM COIL CLADDING. COLOR AND STYLE AS PER OWNER'S APPROVAL, OR TO MATCH EXISTING.
- GUTTERS - ALL GUTTERS SHALL BE MANUFACTURER'S STANDARD PRODUCTS UNLESS OTHERWISE NOTED. COLOR AND STYLE AS PER OWNER'S APPROVAL, OR TO MATCH EXISTING.
- LEADERS - ROOF LEADERS ARE NOT SHOWN. ALL ROOF LEADERS SHALL BE MANUFACTURER'S STANDARD PRODUCTS UNLESS OTHERWISE NOTED. ALL ROOF LEADERS SHALL BE LOCATED IN THE FIELD, COORDINATED, AND INSTALLED IN AN APPROVED MANNER BY THE CONTRACTOR PER SITE, ORIENTATION, AND TO ACCOMMODATE DESIGN INTENT. COLOR AND STYLE AS PER OWNER'S APPROVAL, OR TO MATCH EXISTING. PROVIDE SPLASH BLOCKS OR UNDERGROUND PIPING AS APPROVED AND/OR REQUIRED BY THE LOCAL AUTHORITIES. CONSULT SITE PLAN FOR ADDITIONAL INFORMATION AND DETAILS.
- SOFFITS - ALL SOFFITS SHALL BE MANUFACTURER'S STANDARD VENTILATED VINYL SOFFITS UNLESS OTHERWISE NOTED. COLOR AND STYLE AS PER OWNER'S APPROVAL, OR TO MATCH EXISTING.
- SIDING - MATCH EXISTING SIDING AS REQUIRED FOR ADDITIONS. INSTALL SIDING OVER 3/8" STYROFOAM INSULATION BOARD OR APPROVED EQUAL OVER HOUSEWRAP INFILTRATION BARRIER. ALL SIDING ACCESSORIES SHALL BE BY THE SIDING MANUFACTURER DESIGNED AND MATCHED TO THE SPECIFIED PRODUCT. PROVIDE LIGHT BOXES, OUTLET BOXES, AND OTHER PENETRATIONS/TRIM. COLOR AND STYLE OF SIDING AND PENETRATIONS AS PER OWNER'S APPROVAL, OR TO MATCH SIDING COLOR.
- ATTIC VENTILATION - NA

DEMOLITION NOTES

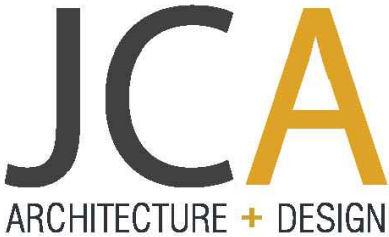
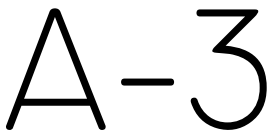
- D1. DEMOLITION NOTES ARE GENERAL. DASHED LINES INDICATE REMOVALS. WHERE NOT SPECIFICALLY NOTED AS TO EXTENT, CONTRACTOR SHALL CONSULT AND COORDINATE WITH THE ARCHITECTURAL DWGS., SPECIFICATIONS, ETC. FOR THE DESIGN EXTENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEMOLITION AND REMOVALS NOT SPECIFICALLY CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, BUT REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS DELINEATED ON THE DRAWINGS AND SPECIFICATIONS.
- D2. EXISTING TO REMAIN: CONTRACTOR SHALL PROTECT CONSTRUCTION OR ITEMS INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION OR OTHER CONSTRUCTION PROCEDURES. THE CONTRACTOR MAY ELECT TO REMOVE AND REINSTALL EXISTING ITEMS AS REQUIRED TO ACCOMMODATE DEMOLITION OR OTHER CONSTRUCTION.
- D3. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AND SHORING AS REQUIRED FOR ANY DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. AT NO TIME SHALL THE CONTRACTOR ALTER ANY STRUCTURAL COMPONENT IN A MANNER WHICH WOULD REDUCE ITS ABILITY TO TRANSMIT THE IMPOSED LOADS. THE CONTRACTOR SHALL REPORT ANY UNFORESEEN CONDITIONS TO THE ARCHITECT IMMEDIATELY.
- D4.NA
- D5. CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE INSTALLATION READY TO ACCEPT EITHER CONTRACTOR FURNISHED OR OWNER FURNISHED FINISHES.
- D6. CONTRACTOR SHALL PROMPTLY REMOVE AND LEGALLY DISPOSE OF ALL MATERIALS AND EQUIPMENT (EXCEPT WHERE NOTED OTHERWISE). DO NOT ALLOW DEBRIS TO ACCUMULATE ON SITE. CONTROL AS MUCH AS POSSIBLE THE SPREAD OF DUST AND DIRT AND PROTECT ADJACENT AREAS FROM DAMAGE AND DIRT. DUMPSTER LOCATION SHALL BE COORDINATED AND APPROVED BY THE OWNER.
- D7. ELECTRICAL DEMOLITION: REMOVE OUTLETS, SWITCHES, FIXTURES, AND OTHER ASSOCIATED ITEMS AS REQUIRED TO ACCOMMODATE THE DESIGN INTENT OF THE PROPOSED WORK. REMOVE OR CAP ALL ASSOCIATED SERVICES AS REQUIRED BY APPLICABLE CODES AND REGULATIONS. CONSULT DRAWINGS & SPECIFICATIONS FOR NEW AND RELOCATED WORK. ALL ROUGH-INS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. (ELECTRICAL SUB-CONTRACTOR).
- D8. PLUMBING DEMOLITION: NA
- D9. HVAC DEMOLITION: NA

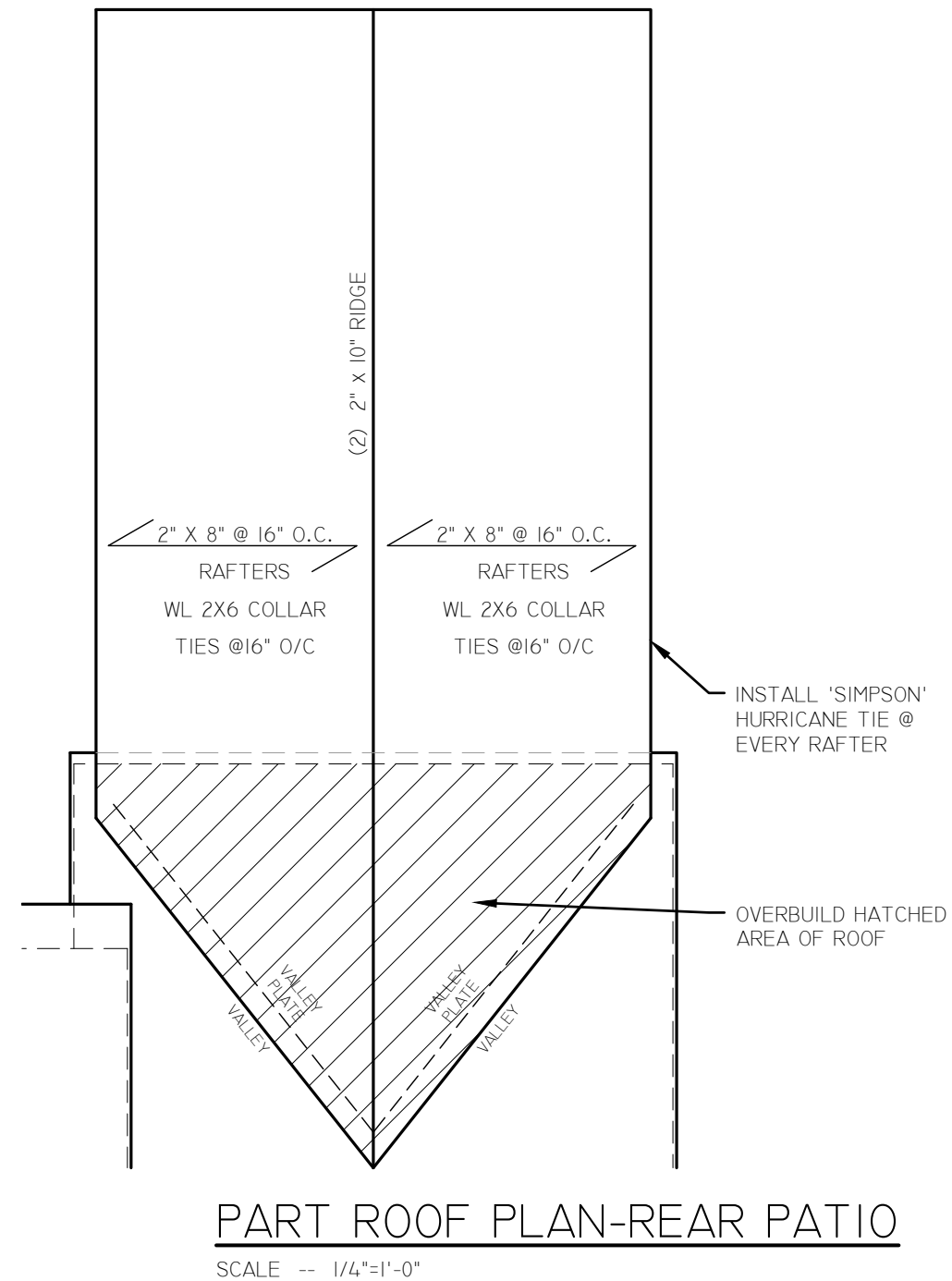
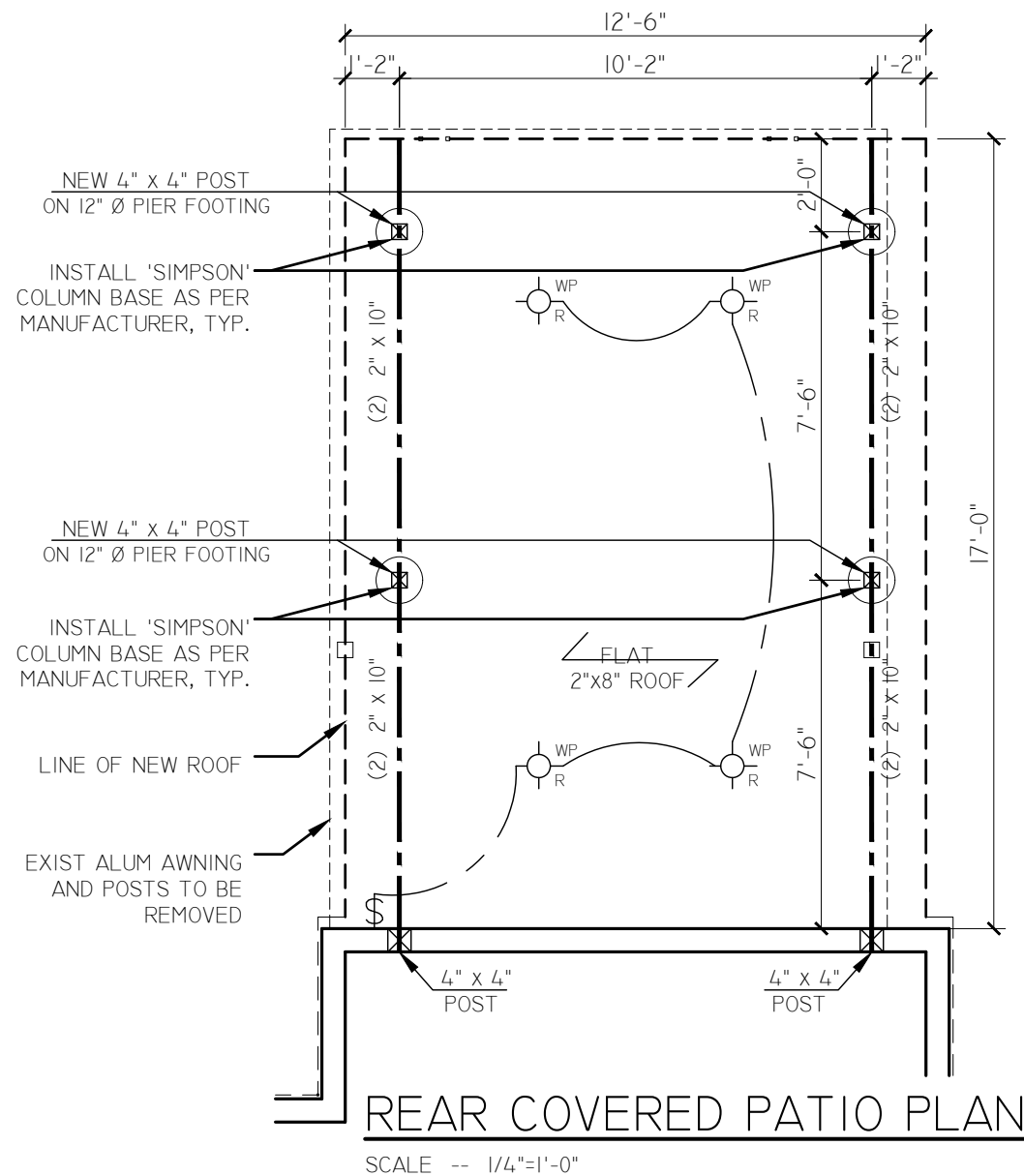
ROOF FRAMING & VENTILATION

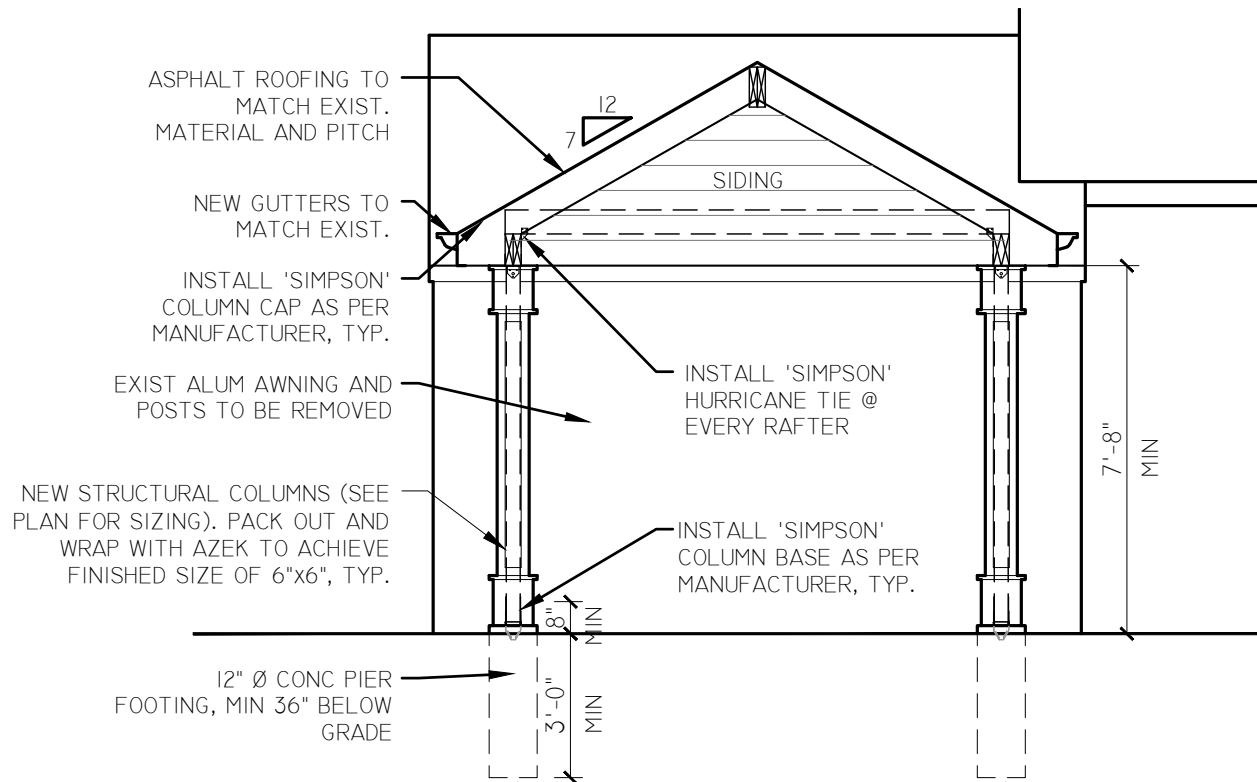
ROOF FRAMING

- FASTENING - ROOF-WALL CONNECTIONS SHALL BE NAILED AND FASTENED IN ACCORDANCE WITH R802.3.1 OF THE IRC, LATEST STATE EDITION.
- RIDGE BEAMS - RIDGE BEAMS ARE TO BE INSTALLED CONTINUOUS WITH NO SPLICES, OR PROVIDED WITH A GUSSET PLATE ON EACH SIDE OF THE RIDGE BEAM AT ANY AND ALL SPLICES. THE GUSSET PLATE IS TO BE A MINIMUM OF 2 INCHES IN WIDTH AND A DEPTH TO MATCH THAT OF THE RIDGE BEAM. RIDGE BEAMS SHALL BE A MINIMUM OF 24 INCHES LONG.
- RAFTER INTERSECTIONS - ALL RAFTERS SHALL BE FRAMED TO ANY INTERSECTING RIDGE BEAMS, HIP BEAMS, OR VALLEY BEAMS, UNLESS OTHERWISE NOTED IN DRAWINGS. THE DEPTH OF RIDGE BEAMS, HIP BEAMS, OR VALLEY BEAMS SHALL BE GREATER THAN THE CUT END OF ANY INTERSECTING RAFTERS. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
- STRONGBACKS - NA
- ROOF PLATE NOTE - NA
- OVER BUILT ROOFS - NO STRUCTURAL VALLEYS SHALL BE USED FOR OVER BUILT ROOF ASSEMBLIES. VALLEYS SHALL BE FORMED BY SETTING ONE ROOF SYSTEM ON TOP OF ANOTHER. THE UPPER ROOF RAFTERS ARE TO BE SET ON AND SECURED TO A 2"x12" PLATE WHICH IS TO BE SET ON TOP OF THE SHEATHING OF THE LOWER ROOF AND NAILED THROUGH TO THE TOPS OF THE LOWER RAFTERS.
- CRICKETS - NA

REVISION	DATE
ISSUE FOR REVIEW	02-08-21
ISSUE FOR PERMITS	06-15-21
<div><div>JCA</div><div>ARCHITECTURE + DESIGN</div></div>	
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<div>JOSEPH M. CESTARO, AIA NJ LIC # AI02022400</div>	
<div>NEW PORTICO & COVERED PATIO</div>	
<div>LOT 20; BLOCK 1707 618 MCCARTHY DRIVE NEW MILFORD, NEW JERSEY</div>	
<div>PORTICO PLANS AND DETAILS</div>	
<div></div>	
PROJECT NUMBER:	20.082
DRAWN BY:	JC
<div>A-2</div>	
SHEET NUMBER:	02 OF 04
SCALE: AS NOTED	

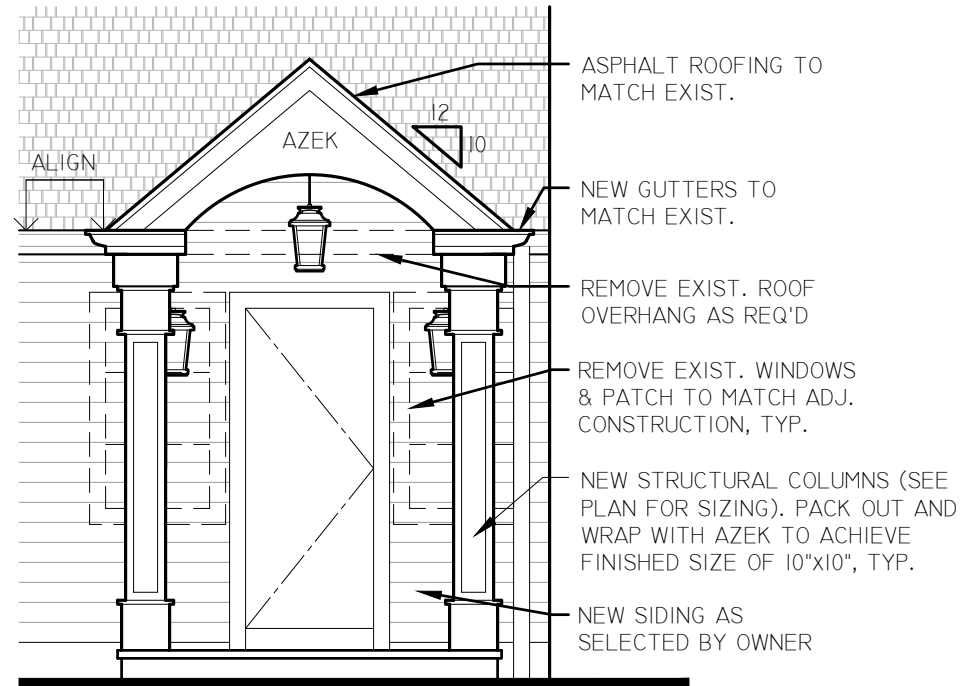
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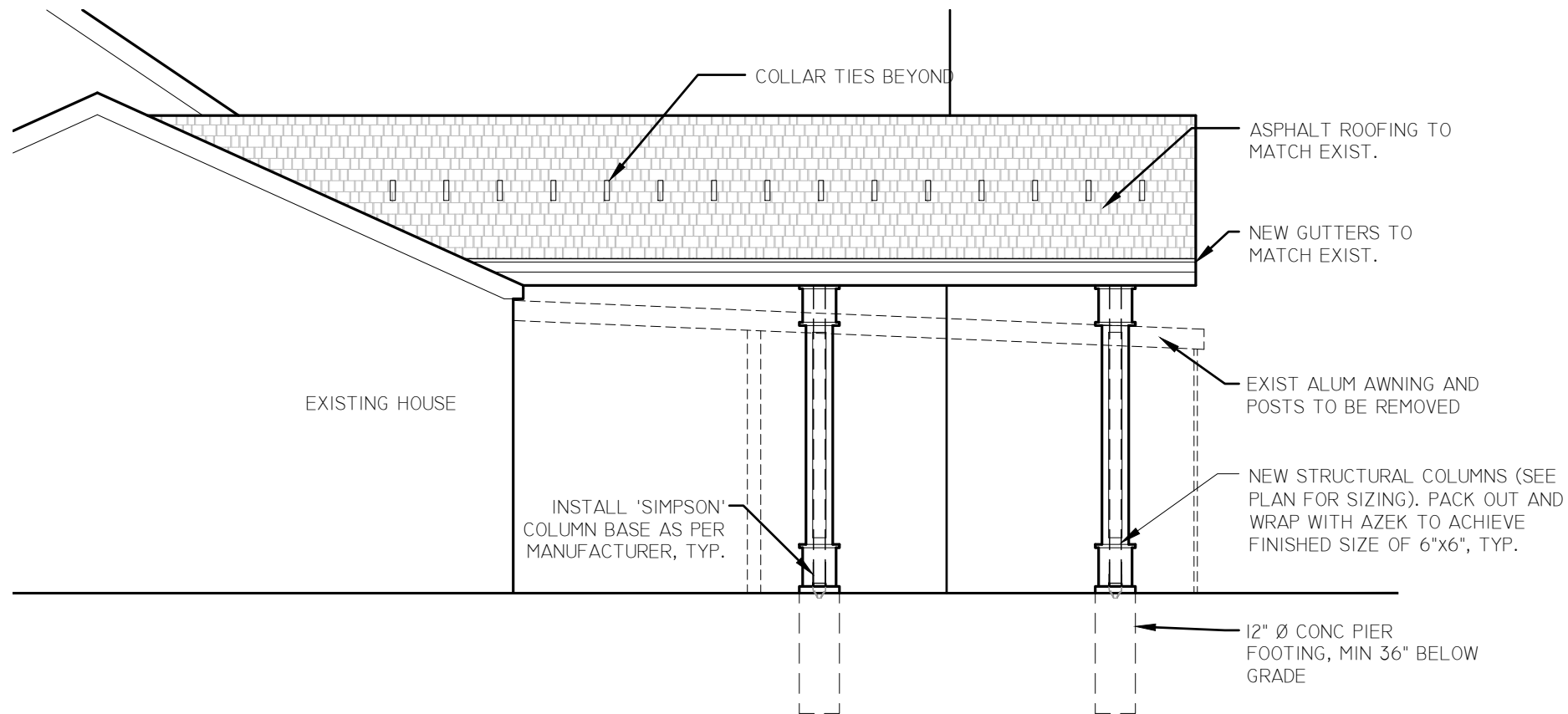
PART. REAR ELEVATION-REAR PATIO

SCALE -- 1/4"=1'-0"



PART. ELEVATION-FRONT PORTICO

SCALE -- 1/4"=1'-0"



PART. SIDE ELEVATION-REAR PATIO

SCALE -- 1/4"=1'-0"

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A-4	
SHEET NUMBER:	04 OF 04
SCALE: AS NOTED	